



Chapter 50: Zoning Ordinance

THE CITY OF KALAMAZOO



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Chapter 50 - Table of Contents

Article 1. General Provisions

Article 2. Review Bodies and Processes

Article 3 Zoning Districts

Article 4. Use Regulations

Article 5. Lot Types.

Article 6. Street Types

Article 7. Parking & Loading Regulations

Article 8. Landscape & Screening Regulations

Article 9 Signage.

Article 10 Lighting.

How to Use These Regulations

The Live-Work 1, Live-Work 2, and Node zoning districts establish a set of development regulations that focus not only on the use of the building, but also the building's form and impact on the block. These regulations go beyond basic setback lines and maximum height to consider such development components as building entrance, minimum amount of transparent windows, and both minimum and maximum heights. This type of standards is referred to as a form-based zoning. These development components are compiled into Lot Types (refer to 5.6 Lot Types) and each zoning district allows for one or more Lot Type. These regulations are different than the traditional zoning regulations in the City of Kalamazoo, but they are written plainly, organized using tables, and are clearly illustrated for ease of use.

To determine the zoning regulations that apply to a parcel, please follow these steps. The Planning Division is always available to answer questions at 269-337-8044.

1 Zoning District.

What zoning district is your property located?



Locate the property on the Zoning Map (refer to Figure 1.2-1 Zoning Map.)

2 Permitted Use.

What is your desired use? Is it permitted in this location?



Refer to the 4.1-1 Use Table to review what uses are permitted in each Zoning District. Information on Accessory Uses and Structures can be found in Table 4.1-1.

3 Development Standards.

What are the requirements for developing or rehabbing a building in this location?



Refer to Table 5.6-1 Lot Types by District to determine which set of development standards are permitted, including dimensional standards that locate a building on a lot and standards for the building facades.

Review the Lot Type Standards in section 5.6, each of which is summarized in a table and with illustrations.

When rehabbing an existing building refer to section 1.4 to determine what activities would result in meeting the requirements of Chapter 50.

Article 1. General Requirements.

1.1 Purpose.

A. The intent of these requirements is to

1. Create a flexible, market driven approach to the districts defined to promote public health, safety, and general welfare.
2. Realize the community's vision as detailed in the Master Plan, including permitting a variety of uses, increased variety of housing infill, and promoting active walkable nodes and corridors through the inclusion of building form requirements.

B. This document should reflect the current adopted Master Plan; if substantial changes occur, this text should be reviewed and amended.

1.2 General Provisions.

A. Zoning. Map. The zoning districts detailed in these regulations are mapped according to Figure 1.2-1.

B. Conflicts. If a conflict arises between the regulations in Chapter 50 and those in Appendix A, the regulations of Chapter 50 take precedent unless otherwise approved by the City Planner.

C. Existing Structures. The zoning districts are intended to allow existing structures to remain while integrating new mixed use and residential development appropriately through the use of form-based regulations.

1.3 Definitions.

A. Agriculture. Growing of food crops indoor or outside for personal use, donation, or sale; this excludes the growth of marihuana plants for medicinal or recreational purposes.

B. Alley. A public or private right-of-way intended for accessing rear yards, utilities, trash pick up, and vehicular access to parking or loading areas. The City Planner can approve having existing Courts serve the same functions as Alleys, as it relates to the requirements of this code.

B. Build-to Zone. The designated area on a lot in which the front or corner side façade of a building must be located. The zone dictates the minimum and maximum distances a building may be placed from the front or corner side lot line. Refer to Figure 1.3-1 Build-to Zone, Property Lines, and Yards.

C. Courtyard. An open-to-the-sky outdoor area enclosed by a building on at least two (2) sides. Parking is not permitted in a Courtyard.

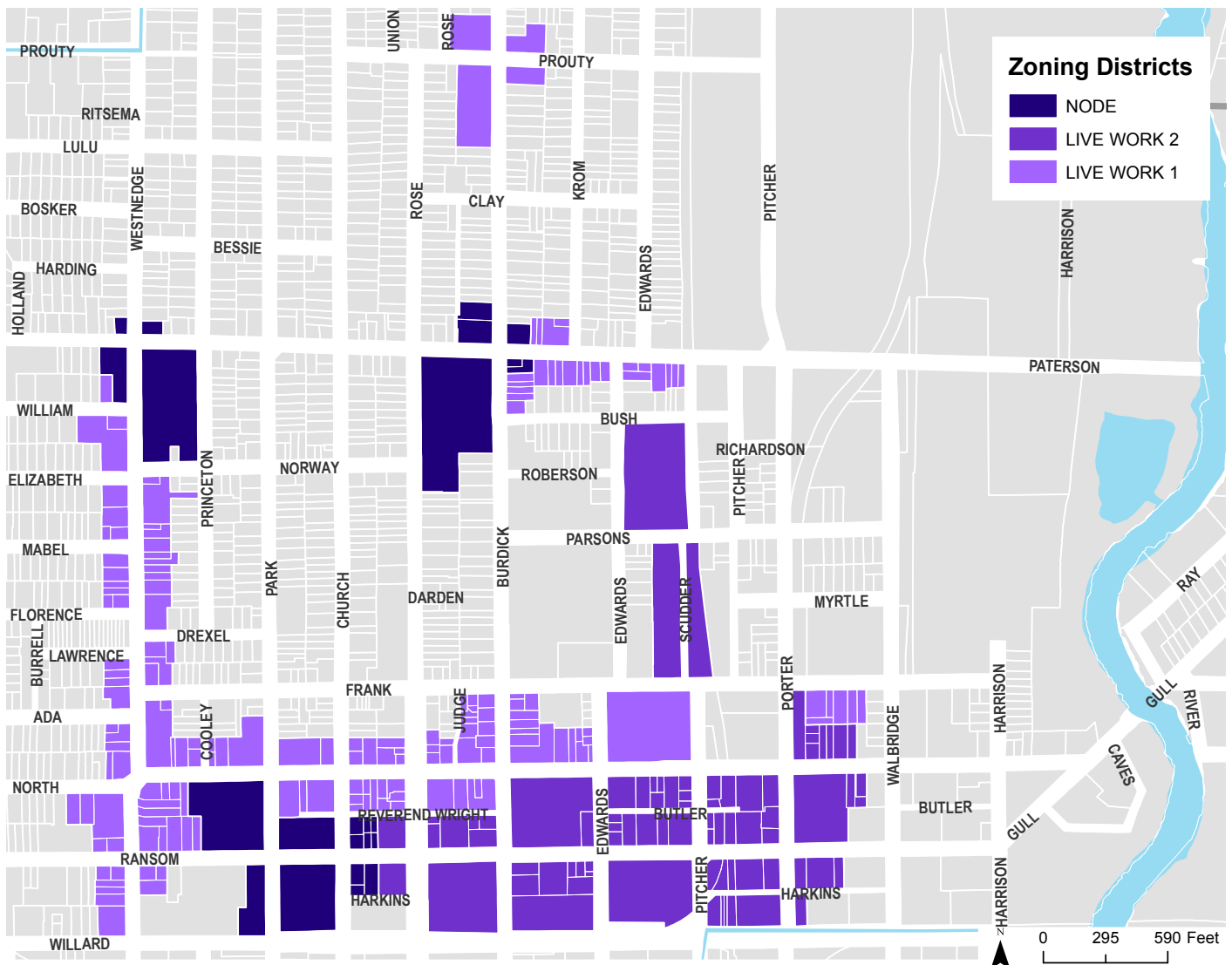


Figure 1.2-1 Zoning Map.

D. Entrance Treatment. The permitted treatments of the ground story façade, including entrance and window transparency. Refer to 5.2 Entrance Treatment.

E. Façade. The exterior face of a building, including but not limited to the wall, windows, doorways, and design elements. The front façade of a building faces the front property line.

F. Façade, Street Facing. Façade of a building facing a public or private space, such as a street or park. This does not include building facades along alleys, which would be considered rear facades.

G. Lot Type. A lot type is defined by the combination of building siting, form, façade treatment, parking and access, and use. Refer to Chapter 5.

H. Master Plan. City of Kalamazoo Planning document that outlines the community's vision primarily as it relates to land use and transportation.

I. Occupied Space. The area within a building that is occupied by the building's uses. This does not include interior parking or loading areas, utility, or storage areas, unless otherwise noted.

J. Property Line. Also referred to as lot line. Refer to Figure 1.3-1 Build-to Zone, Property Lines, and Yards.

K. Property Line, Front. Also referred to as a front lot line. The intersection of the right-of-way and the property or lot; the area from which the front build-to zone is set. Figure 1.3-1 Build-to Zone, Property Lines, and Yards.

1. When a primary street abuts a through or corner lot, the front property line is that property line along the primary street.
2. When a lot abuts two (2) or more primary streets or does not abut any primary streets, the front property line shall be determined by the City Planner.

L. Scale. Typically defined by the adjacent buildings and rights-of-way, scale refers to the size or massing of a structure or street.

M. Site Characteristics. Minor, physical development features on a lot, including signage, landscaping, parking, driveway location, and other physical, but non-structural elements of a site.

N. Street, Types. The types of right-of-ways and associated treatment of vehicular, bicycle, and pedestrian ways within as defined by the Master Plan.

O. Street, Primary. A street designated as having priority over other streets in terms of setting the front lot line, locating building entrance, and façade treatment. Refer to Figure 1.3-2 Primary Street Map.

P. Street, Secondary. A street designated as not having priority over other streets. Secondary streets typically serve as preferred location for vehicular access points and buildings fronting secondary streets may have a reduction in the facade requirements. Refer to Figure 1.3-2 Primary Street Map.

Q. Story, Ground. Also referred to as ground floor. The first floor of a structure that is level to or elevated above the finished grade, measured at the front and corner facades. This excludes partially above-ground basement areas. Refer to Figure 5.3-1 Measuring Height.

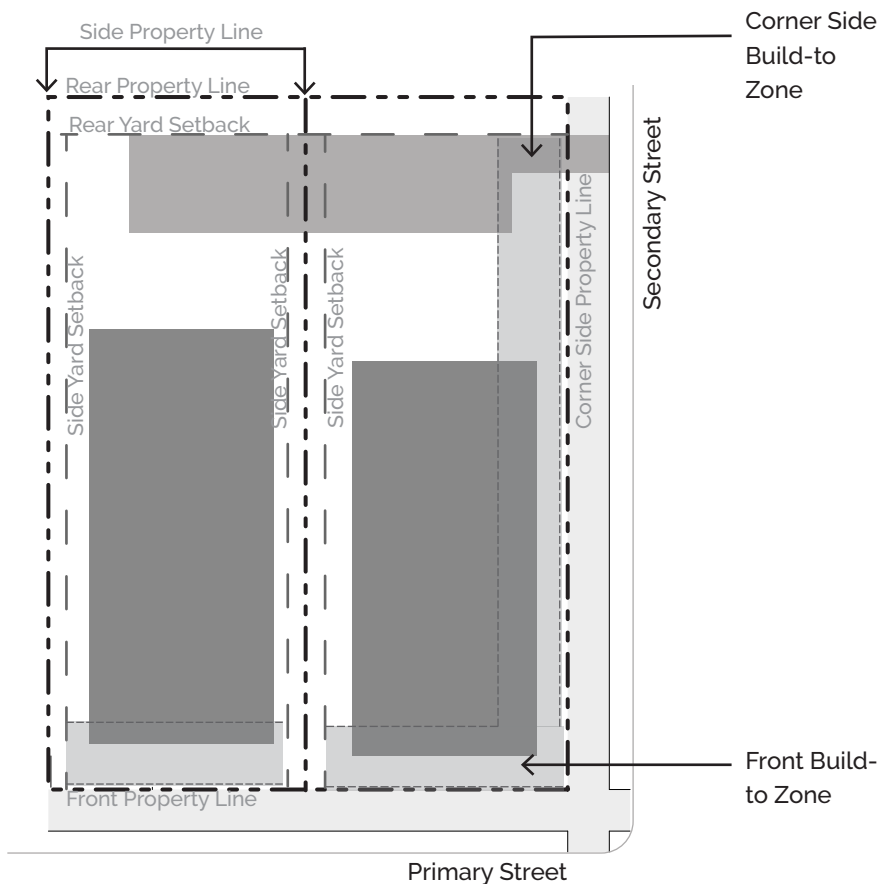


Figure 1.3-1 Build-to Zone, Property Lines, & Yards.

V. Surface, Pervious. An area that allows for the absorption of water into the ground or vegetation. Also referred to as permeable are.



W. Surface, Impervious. Areas covered with surfaces that do not allow at least forty (40) percent absorption of water into the ground, including areas for driveways, parking lots, and walkways and structures.

X. Surface, Semi Pervious. An area that allows for at least forty (40%) absorption of water into the ground or vegetation. Semi-pervious materials can include such materials as porous pavement, pavers, crushed stone, or gravel.

1.4 Nonconformances.

Refer to Chapter 9. Nonconformities of Appendix A for the management of nonconforming uses of land and nonconforming structures and uses of structures with the following additions.

A. Regulations of Chapter 50 shall be met when,

1. Change in Use. The nonconformance exception ends when a change of use will result in a fifty (50) percent or greater change in capacity or intensity, such as an increase in gross floor area, seating, or residential units.
2. Change in Structure. The nonconformance exception ends when the associated structure is modified to change the gross floor area by fifty (50) percent or more.

B. Nonconforming Site Characteristics. Site characteristics may continue in accordance with the following.

1. Ten Percent Exception. A site characteristic is not considered nonconforming if the size of the nonconformance is less than ten (10) percent of the requirement.
2. Change In Use. The nonconforming site characteristic exception ends if a change of use will result in a fifty (50) percent or greater change in capacity or intensity, such as an increase in gross floor area, seating, or residential units.
3. Change in Structure. The nonconforming site characteristic exception ends if the associated structure is modified to change the gross floor area by fifty (50) percent or more.
4. Exception for Multi-Tenant Signs. Multi-tenant signs are exempt from this requirement in that an individual or tenant is permitted to install a new sign or change out signage within a multiple tenant sign provided that the new signage does not increase the amount of nonconformance.

C. Street Facing Façade. When a building located within the build-to zone is renovated without changing the overall square footage, the regulations of 5.5 Street Facing Facades shall be met when any of the following occur.

1. Installation of new entrance or change in location of entrance on a street facing façade.
2. Change in window location or size on a street facing façade by thirty (30) percent or more.
3. Change or replacement of more than thirty (30) percent of façade materials on a street facing façade with a different material.

Chapter 2. Review Bodies.

Reserved

Chapter 3. Zoning Districts.

2.1 Zone Districts.

Refer to Figure 1.2-1 for the Zoning Map of the following districts.

A. Node District. Nodes are intended to create walkable, vibrant mixed-use commercial areas in Kalamazoo neighborhoods with a focus on building form that promote inviting public places. Nodes allow a wide range of commercial uses on the ground floor with commercial and residential uses allowed on upper floors. Nodes are located based on the Master Plan, Future Land Development Map.

B. Live-Work 1 District. Live-Work 1 promotes a wide mix of commercial and residential uses in a scale and with a building form compatible with Kalamazoo neighborhoods and corridors. Live Work 1 standards focus on the building form, specifically along the street, while allowing a flexible list of uses within the building.

C. Live-Work 2 District. Live-Work 2 is intended to promote a wide mix of uses, including residential, commercial, and craftsman industrial users. Typically located adjacent to the Downtown or traditional industrial areas, Live-Work 2 is similar to Live-Work 1, but allows for more urban scaled development.

Chapter 4. Uses.

4.1 General Provisions. The following general provisions apply to the uses outlined in Table 4.1-1 Use Table.

A. Permitted Uses. Uses are either permitted by-right, permitted with development standards, or permitted if a special use permit is granted from the Planning Commission.

B. Lot Type Required. All uses shall be located within a permitted Lot Type, unless otherwise specified.

C. Required Licenses. Any facility that is required to be licensed by the State of Michigan shall have a valid license at all times. It is a violation of this Code to operate at any time without a valid license.

4.2 Organization. The uses listed in the Table 4.1-1 are grouped into general categories and shall be interpreted as follows.

A. Unlisted Similar Uses. If a use is not listed, but is similar in character and impact to a use in the permitted,

permitted with development standards, or permitted with a special use permit, it may be interpreted by the City Planner as similar.

B. Unlisted Dissimilar Uses. If a use is not listed and cannot be interpreted as similar to a listed use, the use is not permitted.

4.3 Use Table. Table 4.1-1 outlines the permitted uses by zoning district. Uses are permitted in one of the following ways.

A. Permitted. Uses in the table noted with "P" are permitted by right in the zoning district(s) in which they are listed.

B. Permitted, Development Standards Required. Uses in the table noted with "PD" are permitted by right in the zoning district(s) in which they are listed provided that they are developed with the listed development standards. The development standards listed are intended to manage potential impacts associated with it, making it appropriate in a location where it might otherwise have not been allowed.

C. Special Use. Uses in the table noted with "S" are permitted with the approval of a special use permit from the Planning Commission in the zoning district(s) in which they are listed.

4.4 Use Definition and Standards. The following details the uses listed in Table 4.1-1 and describes any development standards necessary.

A. Residential/Lodging Uses.

1. Bed and Breakfast. An establishment providing short term lodging and service of at least one (1) meal per day to guests on a lot that also serves as the principal residence of the operator.
2. Hotel/Motel. An establishment that permits short term lodging with or without an in-room kitchen where the rooms are accessed from an interior corridor or hallway (hotel) or exterior passageway (motel). Restaurant, meeting spaces, and retail are commonly associated with this use.
3. Nursing Home/Assisted Living/Rehabilitation Center/Adult Foster Care. Residence that provides short or long term lodging with services such as meals, personal care, supervision of self-administered medication, medical care, and therapy. This type of facility would not meet the definition of a hospital. In the districts where it is Permitted with Development Standards ("PD"), a rehabilitation center is permitted for up to six (6) persons.
4. Residential. Dwelling units located within a primary structure on a lot. In the districts where residential is Permitted with Development Standards ("PD"), residential units are only permitted on upper stories or on the ground floor if interior to the building at a depth of at least fifteen (15) feet measured from the front facade and corner facade when on a primary street.

Table 4.1-1 Use Table

	Node	Live Work 1	Live Work 2
Residential/Lodging			
Bed & Breakfast		P	
Hotel/Motel	P	P	P
Nursing Home/Assisted Living/Rehabilitation Center/Adult Foster Care		PD	PD
Residential (1 & 2 units)	PD	P	PD
Residential (3 & 4 units)	PD	P	P
Residential: Multifamily (5 & more units)	PD	P	P
Rooming House		P	P
Transitional Residence		P	P
Civic/Institutional Uses			
Assembly	PD	P	P
Assembly, Religious	S	S	S
College and University	P	P	P
Hospital		P	P
Library & Museum	P	P	P
Parks & Open Space		P	P
Police & Fire Station	P	P	P
School		P	P

Commercial			
Agriculture		PD	PD
Day Care	PD	PD	PD
Entertainment Sports (Participant - indoor)	P	P	P
Entertainment Sports (Participant - outdoor)		S	S
General Retail	P	P	P
General Services	P	P	P
Kennels			PD
Office	P	P	P
Outdoor Sales & Storage		S	S
Package Liquor	PD		
Parking (stand alone)		PD	PD
Vehicle Service		PD	
Industrial			
Craftsman Industrial	PD	PD	PD
Industrial			PD
Warehouse & Distribution			S

5. Residential, Multi Family. Five (5) or more dwelling units located within a primary structure on a lot. In the districts where residential is Permitted with Development Standards ("PD"), residential units are only permitted on upper stories or on the ground floor if interior to the building at a depth of at least fifteen (15) feet measured from the front facade and corner facade when on a primary street.
6. Rooming House. A type of group living use in which space is let primarily for sleeping purposes, with or without meals, by the owner or agent to persons who are not related to the owner or operator by blood, marriage, or adoption..
7. Transitional Residence. A residential facility that provides temporary accommodations and on-site management, including 24-hour care, for its residents. Transitional residences can accommodate both individuals and families and can serve a variety of populations, such as the homeless, domestic violence victims, or those recovering from addictions. Residency often requires attendance at classes, trainings, or counseling sessions which may occur on-site. Residents typically do not keep personal vehicles on site.

B. Civic/Institutional Uses

1. Assembly. A use that has organized services, meetings, or programs to educate, entertain, or promote discussion amongst the community. It can be a public or private facility. Examples of Assembly include a club, lodge, theatre or community center. In the districts where residential is Permitted with Development Standards ("PD"), clubs and lodges and other similar uses with limited hours or private membership are not permitted in Nodes.
2. Assembly, Religious. An assembly use that focuses on religion, a house of worship. Residential uses accessory to the religious assembly use, such as convent, rectory, or caretaker's residence, are permitted with this use. In the districts where Religious Assembly is Permitted with a Special Use Permit ("S"), facilities that accommodate less than fifty (50) persons are permitted without obtaining a special use permit.
3. College and University. An educational institution authorized to award associate, baccalaureate, or other higher degrees and certificates.
4. Hospital. A state licensed facility providing in-patient accommodations; a wide range of medical and surgical care; and other in-patient health services for sick or injured persons. Permitted secondary uses with this type of facility may include, laboratories, outpatient department, training facilities, central services, offices, residences, dining areas, and retail.

4.1-1 Use Table Key

- P Permitted PD Permitted - Development Standards Required
 S Special Use

5. Library and Museum. An establishment housing educational, cultural, artistic, or historic information resources, and exhibits that is open to the public. Permitted secondary uses with this type of facility include retail space, food sales, dining, and meeting rooms.
6. Parks and Open Spaces. An area of land designed and equipped for passive or active recreation or open air gathering.
7. Police and Fire Stations. A facility that provides protection to a district or entity according to fire, life, and safety code sections. Permitted secondary uses with this type of facility include storage of equipment, indoor and outdoor parking of vehicles, offices, residences. Police and Fire Stations are exempt from any entrance bay and vehicle access standards noted in 5.6. Lot Types.
8. School. A public or private education facility, including elementary, middle, and high schools. Schools may include space for classrooms, laboratories, gymnasium, pools, theaters, dining services, and outdoor athletic or recreational facilities.

C. Commercial

1. Agriculture. Growing of food crops indoor or outside for personal use, donation, or sale (on or off site); this excludes the growth of marihuana plants for medicinal or recreational purposes. In the districts where Agriculture is Permitted with Development Standards ("PD"), the following standards apply.
 - a. Size. Maximum lot size is 10,000 square feet.
 - b. Lot Type. No Lot Type is required unless a hoop house, green house, or farm stand are constructed then 5.6.G Outdoor Market Lot Type apply.
 - c. Intensity. Use of outdoor farm machinery is not permitted.
2. Day Care. A use providing care, protection, and supervision for children or adults on a regular basis away from their primary residence for periods of less than twenty-four (24) hours. In the districts where a day care is Permitted with Development Standards ("PD"), the following is required.
 - a. Outdoor Play Area. At least one (1) outdoor play area will be provided as follows.
 - 1) Size. The size of this play area will be measured at a rate of 100 square feet for each child the facility is permitted to have at maximum attendance.
 - 2) Enclosure Requirement. The play area must be enclosed on all sides by building or fencing.
 - b. In-Home Day Care Facilities. Day care facilities located in a residence, also referred to as a in-home day care facility, containing seven or more participants require a special use permit.
3. Entertainment and Sports. An establishment that provides sports and recreation activities for participants. These may occur indoor, including such indoor facilities as bowling alleys, escape rooms, pool, billiards, arcade,

and outdoors, such as mini golf, ropes courses, swimming pools, and driving ranges. In the districts where Entertainment and Sports is Permitted with a Special Use Permit ("S"), outdoor facilities using an Outdoor Market Lot Type require a special use permit.

4. General Retail. A category of uses involving the sale of goods and merchandise. General Retail includes such uses as those listed in table 4.4-1.

5. General Services. A category of uses that provides patrons services and often retail products related to those services. General Services includes such uses as those listed in table 4.4-1.

6. Kennels. Care of domestic and small animals, such as dogs and cats, that can include day or overnight care. Kennels can be located inside a building or outside and may also provide grooming and training services. In the districts where a kennel is Permitted with Development Standards ("PD"), outdoor kennels are not permitted.

7. Office. A category of uses that involve the transactional affairs of a profession service, industry, or government. Patrons of these uses typically have set appointment or meeting times; these businesses do not typically rely on walk-in customers.

8. Outdoor Sales and Storage. A use that involves the sale, rental, and minor repair of items where the majority of the goods are stored or displayed outdoors. This includes such uses as sale and rental of vehicles with less than 10,000 pounds gross cargo weight, motor homes, and boats and the sale of building or landscape materials such as plants, gravel, or rocks. In the districts where outdoor sales and storage is Permitted with Special Use Permit ("S"), the following standard applies.

a. Screened. Storage of all outdoor items must be screened from view from side and rear property lines; storage of loose materials such as rock, gravel, or soil must be additionally screened from the front and corner side property lines.

b. Outdoor Market Lot Type. If the Outdoor Market Lot Type is utilized (refer to 5.6.G), the build-to zone requirement must be followed.

9. Packaged Liquor. A retail establishment licensed by the Michigan Liquor Control Commission selling packaged alcoholic liquors, including beer, wine, and spirituous liquors, for consumption off-site. This use does not include establishments meeting the definition of an eating and drinking establishment or grocery stores. In the districts where packaged liquor is Permitted with Development Standards ("PD"), the following is required.

a. A minimum distance of 2,460 feet is required between locations of packaged liquor uses.

b. A minimum distance of 500' is required from parcels containing a religious assembly and school use.

c. Calculations to determine the required distance are made along the adjacent street center lines by measuring between two (2) fixed points located on the center line(s) that are determined by drawing perpendicular lines from the closest edge of the building containing the use in question to the center line of the adjacent street.

10. **Parking Lot (Stand Alone).** A lot in which the primary use is parking of vehicles for public use or private use of adjacent businesses and residences. Parking lots may not be used as towing service storage and storage for inoperable vehicles. In the districts where parking lot is Permitted with Development Standards ("PD"), the following is required.

a. **Corner Lot.** A parking lot is not permitted on a corner lot.

b. **Required Treatment When Fronting on a Street.**

1) **Primary Street.** A parking lot is not permitted on a lot that fronts a primary street without a special use permit unless it is directly adjacent to the building that it serves.

2) **Fence.** Fencing up to forty-two (42) inches in height is permitted in the landscape buffer along a street. Refer to Appendix A 6.3 Screens & Fencing for more information on fences.

11. **Vehicle Services.** A category of uses that involve the servicing of vehicles and/or the sale of fuel. General retail is often associated with vehicle service uses. This category includes, vehicle service shops, car wash, and gas stations. In the districts where Vehicle Service is Permitted with Development Standards ("PD"), the following standards apply.

Table 4.4-1. Examples of General Retail & Service Uses.

General Retail Uses	General Service Uses
Apparel & Accessories	Animal Board, Day Care (no outdoor kennels)
Art, Craft, Hobby Store	Bank, Financial Services
Automotive Supply (no service)	Catering
Bakery	Dry Cleaning, Laundry-mat
Bicycle, Scooter, Moped Sales	Eating & Drinking Establishment, Cafe, Coffee Shop, Brewpub, Tavern, Lounge
Book Magazine, Newspaper	Fitness (ex: Gym, Yoga, Pilates, Dance Studio)
Convenience Store	Framing
Drug Store/Pharmacy	Funeral Home
Florist	Locksmith
Home Furnishing & Accessories	Mail system, copying, printing
Grocery Store, Specialty Foods	Medical Services, Optical, Urgent Care
Hardware Store	Pet Grooming
Office Supplies	Personal Services (salon, spa, barber shop)
Paper, Stationary Store	Repair of Small Goods, household goods, electronics
Pet & Pet Supply Shop	Tailor & Seamstress
Sporting Goods Sales & Rental	Tattoo, Piercing
Toy Shop	Training Center
Video Games & Electronic Sales	Travel Agency

- a. Use Limitations.
 - 1) Gas stations require a special use permit.
 - 2) Vehicle service for semi trucks and other oversized vehicles is not permitted.
 - 3) Sale of packaged liquor is permitted, but must adhere to the development standards required for the packaged liquor use.
- b. Entrance Bays. Bays may not face a primary street.
- c. Vehicle Storage. Storage of a disabled or inoperable vehicle or one awaiting pick up is permitted on site for up to three (3) days and shall be located in the rear or side yard.
- d. Outdoor Activities.
 - 1) Outdoor vacuuming areas are permitted in the side and rear yards.
 - 2) Washing areas are not permitted outside.
 - 3) Repair or service activities or equipment are not permitted outside.
- e. Screening. Perimeter landscaping or fencing is required along side and rear yards.

Table 4.4-2. Examples of Craftsman Industrial

Craftsman Industrial
Apparel, Accessories, & Finished Fabrics
Art, Glass, Textiles, Ceramics, Pottery, Woodworking
Brewing, Distilling, & Roasting
Commercial Copying & Printing
Construction, Special Trades
Electronic Assembly
Food Preparation & Production- Bakery, Beverages, Desserts, Canning, Preserving, Pasta, Dairy, etc
Furniture & Fixtures, Household Textiles, Home Furnishing & Accessories
Metal Products - Engraving, welding
Music Instruments, Recording Studio
Small Good Manufacturing & Repair

D. Industrial.

1. Craftsman Industrial. A use involving small scale manufacturing, production, assembly, and/or repair that includes a showroom or retail space open to the public with no environmental or nuisance impact; may also be referred to as maker spaces. Refer to table 4.4-2 for examples of uses permitted in Craftsman Industrial. In the districts where Craftsman Industrial is Permitted with Development Standards ("PD"), the following standards apply.

a. Retail Component.

- 1) At least ten (10) percent of the floor area must be public showroom or retail space.
- 2) Retail component shall be located along the front facade of the building and utilize a storefront or stoop entrance treatment. Refer to 5.5 Street Facing Facades.

b. Size Requirements. Maximum facility size of 10,000 square feet is permitted in Live-Work 1 and Node districts.

c. Outdoor Storage. Outdoor storage of goods is permitted in Live-Work 2 provided the following.

- 1) Area used for storage is less than or equal to five (5) percent of the site's lot area.
- 2) Storage area is screened from view of the adjacent property lines.

2. Industrial. A category of uses that allow for the production, processing, assembling, and packaging of goods. This category of uses does not have environmental or nuisance conditions that are detectable at the property lines of the site. Associated with the category are uses such as offices, warehousing, and loading or service bays. In the districts where Industrial is Permitted with Development Standards ("PD"), the following standards apply.

a. Entrance Bays. Entrance bays are not permitted on facades facing primary streets unless they are located more than fifty (50) feet beyond the building's front facade.

b. Outdoor Activities.

- 1) Fuel pumps are not permitted.
- 2) Outdoor Storage is permitted provided it does not take up more than ten (10) percent of the lot area and is screened from view from adjacent streets.

c) Size. Maximum size of manufacturing facility is 20,000 square feet, this calculated area excludes office, showroom, or retail space. Larger facilities require review through a special use permit.

3. Warehouse and Distribution. An industrial use involving significant commercial vehicle access and large-scale storage, both indoors and outside. In the districts where Warehouse and Distribution is Permitted with Special Use Permit ("S"), the following standards apply.

a) Size Requirements. Maximum facility size is 20,000 square feet.

b) Outdoor Activity. Fuel pumps and outdoor storage are permitted as follows.

- 1) Must be located in the rear yard.

- 2) Must be screened from all adjacent uses according to 6.2 Landscaping and Open Spaces in Appendix A.
- c) Entrance Bays. Entrance bays are not permitted on facades facing primary streets.

4.5 Accessory Uses and Structures.

A. Table. Table 4.5-1 outlines the permitted accessory uses and structures by district. Accessory Uses and Structures are permitted in the following ways.

1. Permitted. Uses in the table noted with "P" are permitted by right in the zoning district(s) in which they are listed.
2. Permitted, Development Standards Required. Uses in the table noted with "PD" are permitted by right in the zoning district(s) in which they are listed provided they are developed with the listed development standards. The development standards listed for a use are intended to manage any potential impacts associated with it, making it appropriate in a location where it might otherwise have not been allowed.
3. Special Use. Uses in the table noted with "S" are permitted with the approval of a special use permit from the Planning Commission in the zoning district(s) in which they are listed.

B. Development Requirements. All accessory structures will meet the following standards, unless otherwise noted.

1. Front Yard. Accessory structures are not permitted in the front yard unless otherwise noted.
2. Corner Side Yard. Accessory structures cannot be located closer to the corner-side property line than a principal structure.
3. Setback. Accessory structures shall be setback five (5) feet from side and rear property lines.
4. Height. Accessory structures shall not exceed the height of the principal structure.

Table 4.5-1 Accessory Uses & Structures

Uses & Structures	District		
	Node	Live Work 1	Live Work 2
Accessory Dwelling Units (ADU)	PD	PD	PD
Agriculture	P	P	P
Drive Through	PD	PD	PD
Food Truck	PD	PD	PD
Home Occupation	PD	PD	PD
Kiosk	PD	PD	PD
Outdoor Storage		PD	PD
Secondary Building	PD	PD	PD
Sidewalk Café	PD	PD	PD

Key

- P Permitted
- S Special Use
- PD Permitted - Development Standards Required

5. Lot Coverage. Accessory structures count toward a lot's impervious coverage. Placement of an accessory structure cannot make a lot exceed its impervious coverage requirement.

C. Use Definition and Standards. The following details the accessory uses and structures listed in Table 4.5-1 and detail any development standards necessary.

1. Accessory Dwelling Unit. A secondary dwelling unit on a lot; it may be located in a secondary building or interior to the principal building.

a. Units in secondary buildings.

1) Quantity. One (1) accessory dwelling unit in a secondary building is permitted per lot.

2) Maximum Unit Size. Maximum unit size is 950 square feet.

b. Interior Units. An interior accessory dwelling unit is defined as one with a separate exterior entrance. When located interior to the principal structure the following are required.

1) Quantity. One (1) accessory dwelling unit interior to a principal building is permitted.

2) Maximum Unit Size. Maximum unit size is less than or equal to thirty (30) percent of the square footage of the primary residential unit or 600 square feet, whichever is larger.

c. Parking. Space for 1 car per accessory dwelling unit is required. On-street parking, if available overnight, can be meet this requirement if located within 660 feet.

2. Agriculture. Growing of food crops indoor or outside for personal use, donation, or sale; this excludes the growth of marihuana plants for medicinal or recreational purposes.

3. Drive Through. Drive throughs provide service to customers who remain in their vehicle and may be used in conjunction with variety of uses including financial institutions and restaurants. In the districts where a drive through is Permitted with Development Standards ("PD"), the following standards apply, Refer to Figure 4.5-1 Drive Throughs.

a. Permitted Locations. A drive through is permitted as follows.

1) Nodes. A drive through is permitted only in the rear yard, fully screened from property lines by structure or landscaping.

2) Other Districts. A drive through is permitted in the rear yard. If the lot does not front a primary street, a drive through is also permitted in the side yard.

b. Landscape Screening. Adjacent to the drive through along the rear and/or side property lines shall be screened by a landscaping as defined by Appendix A 6.2 Landscaping and Open Spaces.

c. Stacking Space. A minimum of three (3) stacking spaces are required, measured from the drive-through window or entrance into the stall or loading area.

4. Food Truck. Vehicle or trailer used to prepare and/or serve food. In the districts where a food truck is Permitted with Development Standards ("PD"), an approved Site Plan is required as follows.

a. Single Food Truck. Site Plan approval is required when one (1) food truck operates on a lot three (3) or more days a week and utilizes the lot's utilities, such as electrical or water services.

b. Multiple Food Trucks. Site plan approval is required if multiple food trucks operate on a lot three (3) or more days a week.

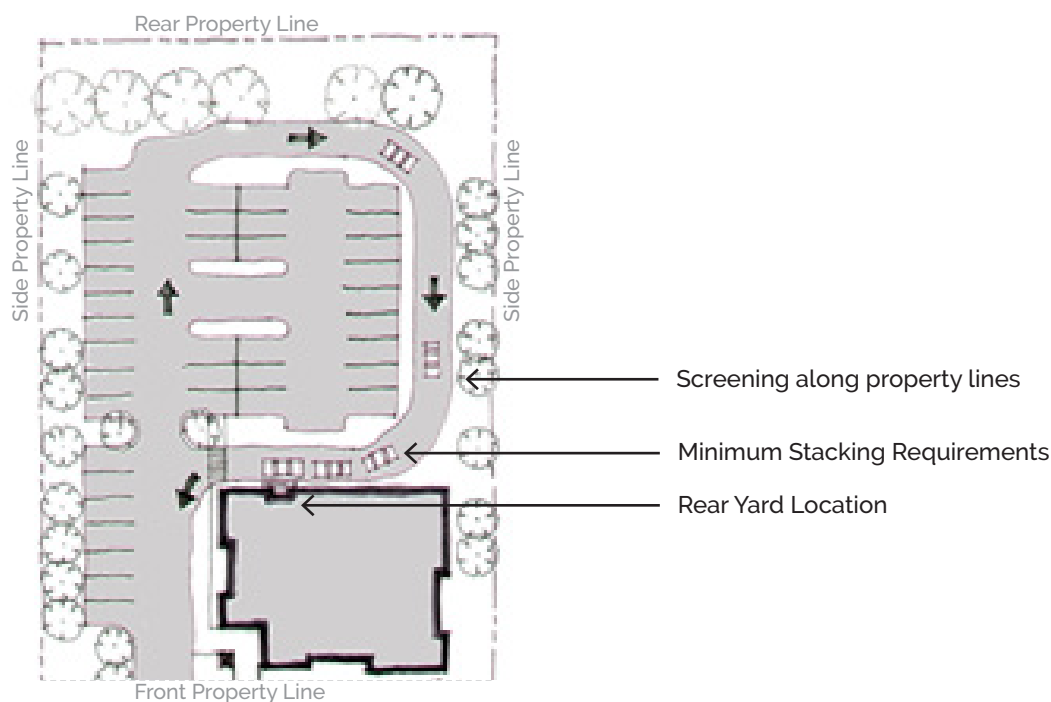


Figure 4.5-1. Drive Through Design

5. Home Occupation. Types of work that can be conducted in a residence with little to no impact on the surrounding lots. Home occupations are secondary to the primary use of the lot, residential.

- a. Prohibited Uses. Prohibited uses include animal boarding, dispatch center, restaurants, vehicle or large equipment storage and repair.
- b.. Resident-Operator. The operator of the home occupation must be a full time resident of the dwelling unit in which the business is associated.
- c. Employees. A maximum of two (2) nonresident employees are permitted on premises at one time.
- d. Signs. No more than one nameplate sign permitted with a maximum size of one (1) square foot. It may not be internally illuminated.
- e. Secondary Building. If located in a secondary building on the lot, the home occupation may not take more space than 500 square feet.
- f. Exterior Building Appearance. No exterior building changes are permitted; there must be no visible evidence of the existence of a home occupation beyond the permitted signage.
- g Operational Impacts. No home occupation or equipment used with a home occupation may cause odor, vibration, noise, electrical interference or fluctuation in voltage measured at the lot line.
- h. Customers. Customers or clients are permitted at the home occupation during the hours of 8:00 AM to 8:00 PM.
 - 1) No more than two (2) customers or clients are permitted at a given time, except in the case of a classes, such as art, music, cooking, or fitness classes, where up to four (4) clients are permitted at one time.
 - 2) A Special Use Permit is required for a home occupation providing classes with five (5) or more clients at a time.
- i. Customer Parking. Customer parking may occur off-street or on-street, where permitted.
- j. Deliveries. Deliveries are permitted during the hours of 8:00 AM to 8:00 PM and are permitted through the common residential delivery services.
- k. Medical Marihuana as a Home Occupation. Refer to 4.3.G(16) in Appendix A.

6. Kiosk. Non-permanent structure that permits a variety of general retail and service uses, may be associated with the use of shipping containers or pop up shops and sheds. In the districts where a kiosk is Permitted with Development Standards ("PD"), an approved Site Plan is required when two (2) or more kiosks are being located on a lot for a period of more than two (2) weeks.

7. Outdoor Storage. Storage of goods for sale or items related to the use(s) on the lot located outside of a structure.

In the districts where a kiosk is Permitted with Development Standards ("PD"), the following is required.

- a. Site Plan. A site plan is required to review the size and placement on a lot.
- b. Maximum Size. Outdoor storage is permitted in an area no greater than ten (10) percent of the total lot area.
- c. Location. Storage is permitted in the rear yard or side yard.
- d. Screening. Storage must be screened from view from view from all property lines.

8. Secondary Building. Secondary buildings include such structures as detached garages, sheds, accessory dwellings, green houses, and hoop houses. In the districts where secondary Buildings are Permitted with Development Standards ("PD"), the following standards apply.

- a. Height. Secondary buildings can be up to two (2) stories in height. Refer to 5.3-1 Measuring Height.
9. Sidewalk Cafe. Outdoor eating areas permitted within the right-of-way and on the property in question. In the districts where a sidewalk cafe is Permitted with Development Standards ("PD"), the following standards apply,
- a. Clear Pedestrian Pathway. A minimum pedestrian pathway of five (5) feet must be maintained free of all obstacles.
 - b. Permit. If located in the right-of-way, a Right-of-Way Permit is required from the City of Kalamazoo.

Chapter 5. Zoning Standards: Lot Types.

5.1 Lot Type General Requirements.

A. Applicability. The following Lot Types shall apply to all new construction and exterior renovation of existing structures with the parameters noted in 1. General Requirements.

1. Zoning District. Lot Types are permitted by zoning district. Refer to Table 5.6-1 Lot Types by Zoning District.
2. Uses. Lot Types may each house a variety of uses based upon the zoning district in which it is located. Refer to 4.1-1 Use Table.

B. Lot Type Requirements. A Lot Type is comprised of standards for the following development components:

1. Building Siting. Refers to the location of the building(s) on a lot, including the following.
 - a. Street Frontage. Refers to locating the building(s) on a lot.
 - b. Lot Area and Coverage. Refers to the maximum coverage of a lot with buildings or pavement.
 - c. Parking, Loading, and Access. Refers to the location of parking areas and access on a lot.
2. Height. Refers to the minimum and maximum height permitted.
3. Uses. Refers to the uses permitted on a Lot Type.
4. Street Facing Facades. Refers to the entrance location and minimum transparency of windows.
 - a. Transparency. The percentage of a façade that has clear, non-reflective windows that allow visibility into a building of at least four (4) feet.
 - 1) Ground Floor. Transparency is determined by entrance treatment, unless otherwise noted.
 - 2) Upper Floor. Transparency is determined by Lot Type.
 - b. Entrance. Refers to permitted ground floor entrance treatments and quantity and location of entrances.
 - c. Roof Types. The allowance of special roof elements, tower and spire.

5.2 Building Siting.

A. Street Frontage. Refer to Figure 5.2-1 Building Siting.

1. Multiple Principal Buildings. The allowance for more than one (1) principal structure on a lot.
2. Front Lot Line Coverage. The minimum percentage of building façade required along the front property line.

Refer to Figure 5.2-1 Building Siting.

- a. Measurement. The standard is calculated by taking the width of the principal structure, measured in the build-to zone, divided by the total width of the lot's build-to zone.
- b. Multiple Buildings. If multiple principal buildings are located on the lot, once the minimum front lot line

coverage is met, buildings may be located set back from the front property line.

3. Occupation of the Corner. Occupying the corner, the area where the front and corner build-to zones meet, with a principal structure.

4. Front Build-to Zone. The build-to zone located parallel to the front property line.

a. If not occupied by a structure, this area will contain landscaping, public or private outdoor space, or sidewalk.

b. Vehicular parking is not permitted in the front build-to zone unless otherwise noted.

5. Corner Build-to Zone. The build-to zone located parallel to the corner side property line.

a. If not occupied by a structure, this area will contain landscaping, public or private outdoor space, or sidewalk.

b. Vehicular parking is not permitted unless otherwise noted.

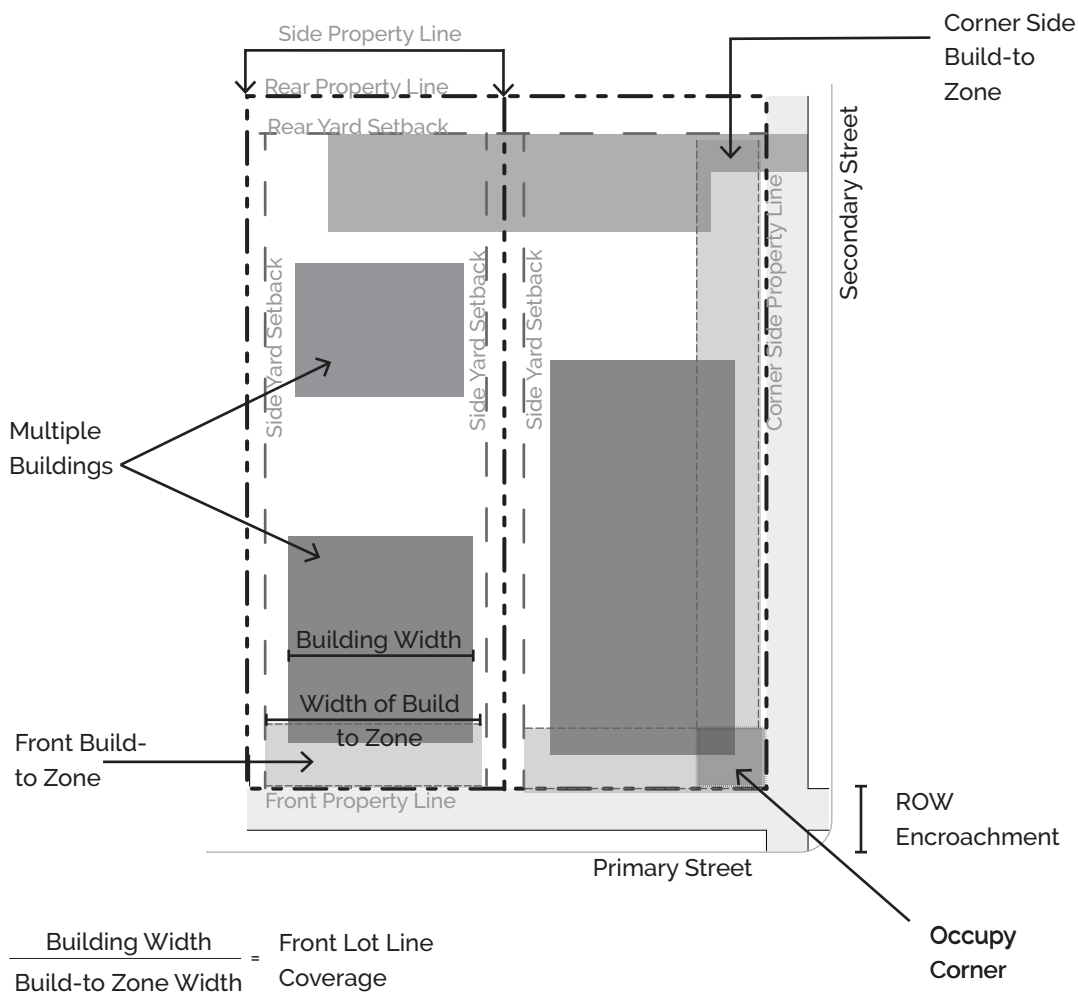


Figure 5.2-1. Building Siting Street Frontage, Front Lot Line Coverage, & Lot Area.,

6. Encroachment. Certain building elements, such as balconies, awnings, or signage may be permitted to encroach into the right-of-way.

- a. Where permitted, an encroachment agreement with the City is required.
- b. Encroachments shall not extend closer than two (2) feet from the back of the curb line.
- c. A minimum height clearance of eight (8) feet must be maintained.

B. Lot Area. Refer to Figure 5.2-1 Building Siting.

1. Side Yard Setback. The minimum required setback along a side property line.
 - a. Driveways are permitted in the side yard setback.
2. Rear Yard Setback. The minimum required setback along a rear property line

C. Lot Coverage. The maximum percentage of a lot permitted to be covered with not pervious surfaces and the additional amount of semi-pervious surface permitted. Refer to Figure 5.2-3 Lot Coverage.

D. Parking Loading, and Site Access. .

1. Parking Location. The yard in which a parking area and associated drive are permitted.
2. Service and Loading Locations. The façade on which access is permitted for servicing, loading, and unloading activities related to that building's use.
3. Entrance for Interior Parking. The façade of the building on which an entrance bay to interior parking is permitted.
4. Driveway Location. The permitted locations for vehicular access.
 - a. If an alley is available, driveway access shall be located from the alley.
 - b. If an alley is not available, driveway location is noted by Lot Type (refer to 5.6 Lot Types).
 - c. Driveways on corner sides must be at least fifty (50) feet from the corner of the Lot.

5.3 Height.

A. Height. Overall height for all Lot Types is measured as follows. Refer to Figure 5.3-1 Measuring Height

1. Minimum and Maximum Height. The minimum and maximum overall height of a structure.
 - a. Measurement. Building height is measured in stories.
 - b. Half stories. Half stories can be found either completely within the roof structure with street-facing windows or in a visible basement exposed up to ½ story above grade.
2. Floor Height. Each Lot Type permits a range of height expressed in feet for each story.
 - a. Floor to Floor. The height of a story is measured between the floor of a story to the floor of the store above it. If

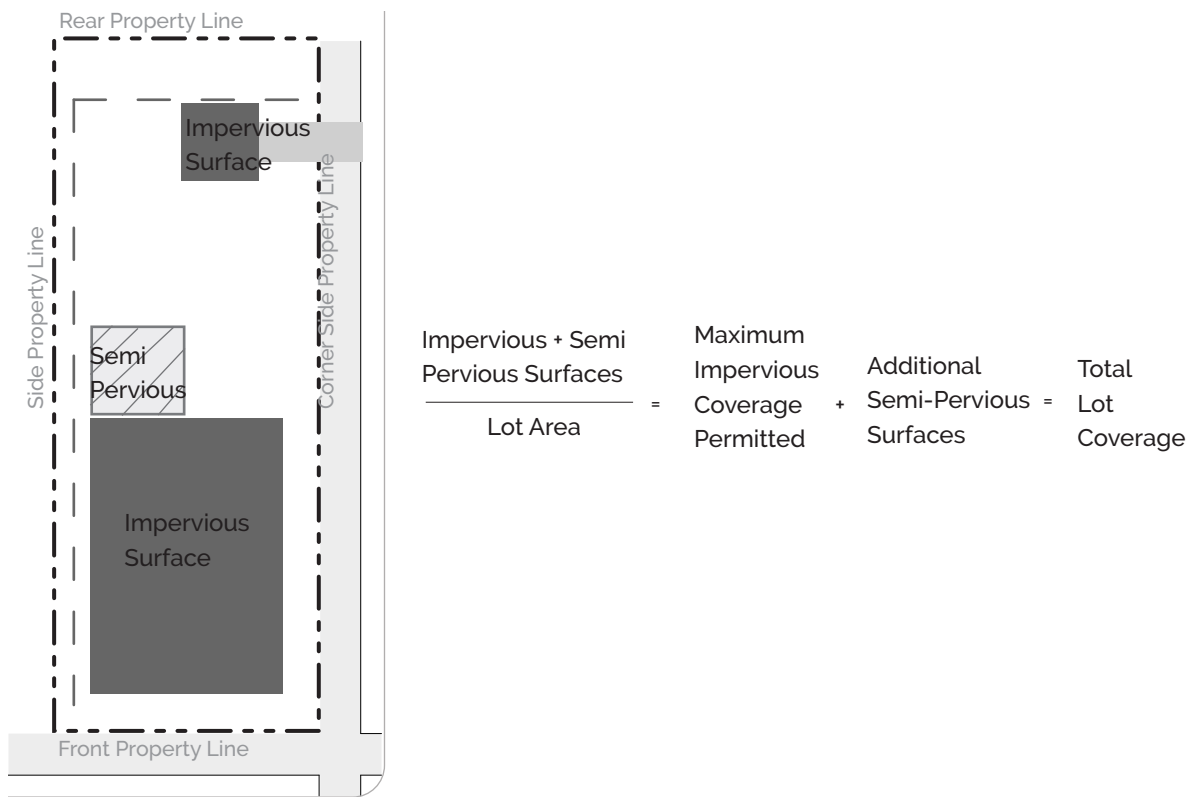


Figure 5.2-3 Lot Coverage

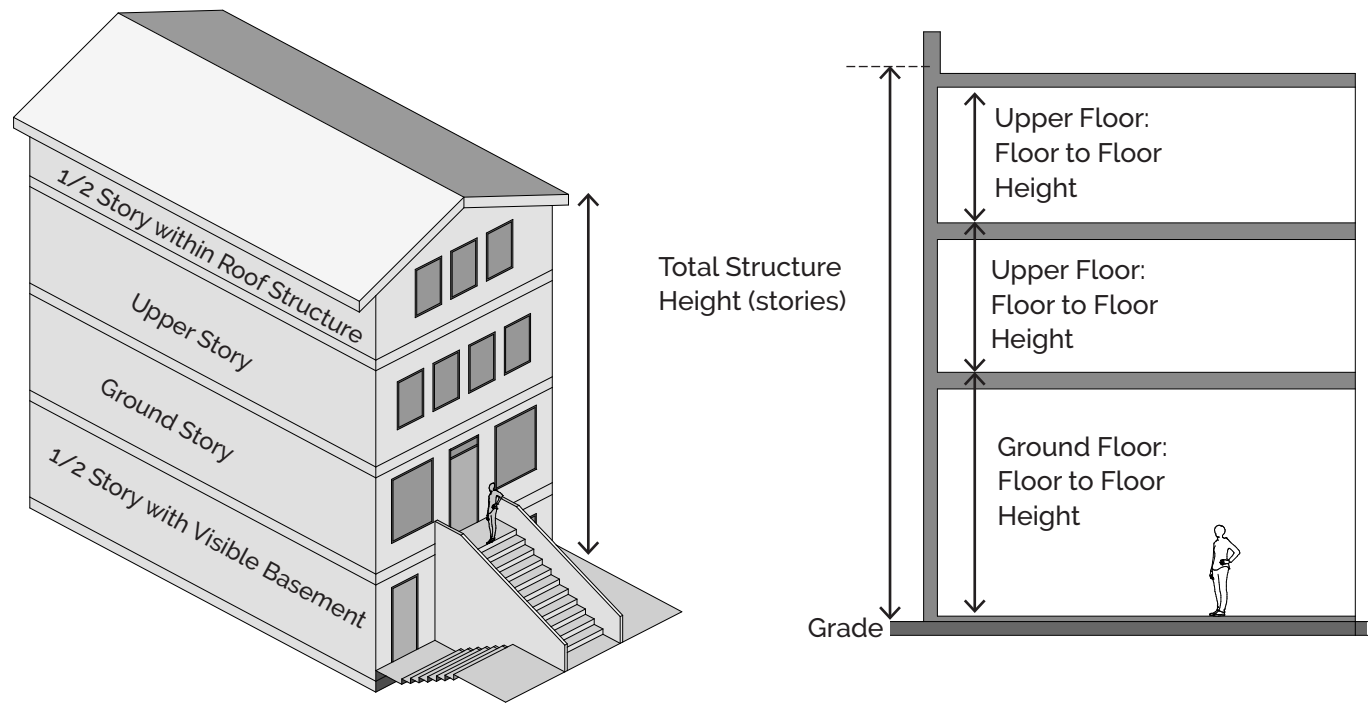


Figure 5.3-1. Measuring Height

the building is one (1) story use the floor of the story to the tallest point of the ceiling.

b. Application. Floor height requirements apply only to principal buildings on street facing facades.

5.4 Use.

A. Uses. Each Lot Type includes a list of permitted uses outline in Figure 4.1-1 Use Table. Also refer to Figure 5.4-1

Permitted Uses per Floor

1. Ground and Upper Floor. The permitted uses may vary between ground and upper floors.
2. Occupied Space. The allowance of uses, such as internal parking, on the ground floor provided they are located at a depth of at least fifteen (15) feet from the front façade.

5.5 Street Facing Facades.

A. Street Facing Façade. The following are requirements on street facing building facades. .

- 1) Transparency. Measurement of the percentage of a façade that has clear, non-reflective windows. Refer to Figure 5.5-1. Measuring Transparency.
 - a. Ground Floor. Transparency is determined by entrance treatment, unless otherwise noted in the Lot Type.
 - b. Upper Floor. Transparency is noted by Lot Type.
 - c. Full Façade. Transparency measured using the entire front facade rather than only one (1) story of the building.
- 2) Blank Wall Limitations. The maximum area on a façade permitted to be windowless.

B. Entrance. Required entrance locations and treatments.

1. Location. Location of the primary, functioning entrance of the principal building, noted by façade.
2. Entrance Treatment. The entrance treatments required on street facing facades. Entrance treatment standards apply to the entire ground story of all front facades, and corner side facades when facing a primary street.
 - a. Storefront. Storefronts are a highly transparent ground story treatments typically used as display areas for retail and other commercial uses. Refer to Figure 5.5-2 Storefront Entrance Type.
 - 1) Transparency. Minimum transparency is seventy (70) percent, measured between two (2) and eight (8) feet above the grade of the sidewalk. Refer to Figure 5.5-1. Measuring Transparency.
 - 2) Elevation. Storefronts shall be located no more than one (1) foot above the sidewalk.
 - 3) Recess. Entrances may be recessed up to eight (8) feet.

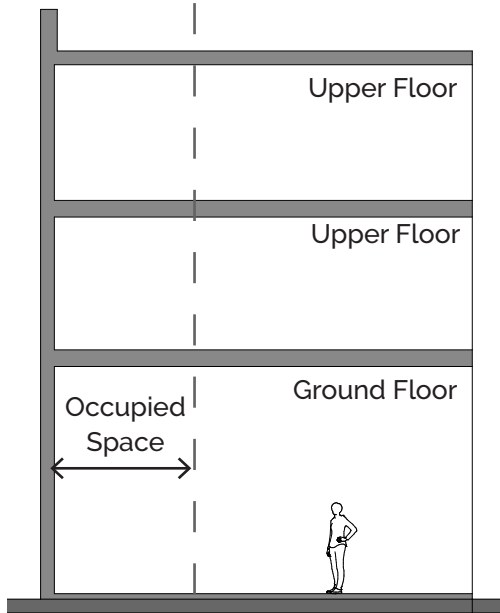


Figure 5.4-1 Permitted Uses Per Floor

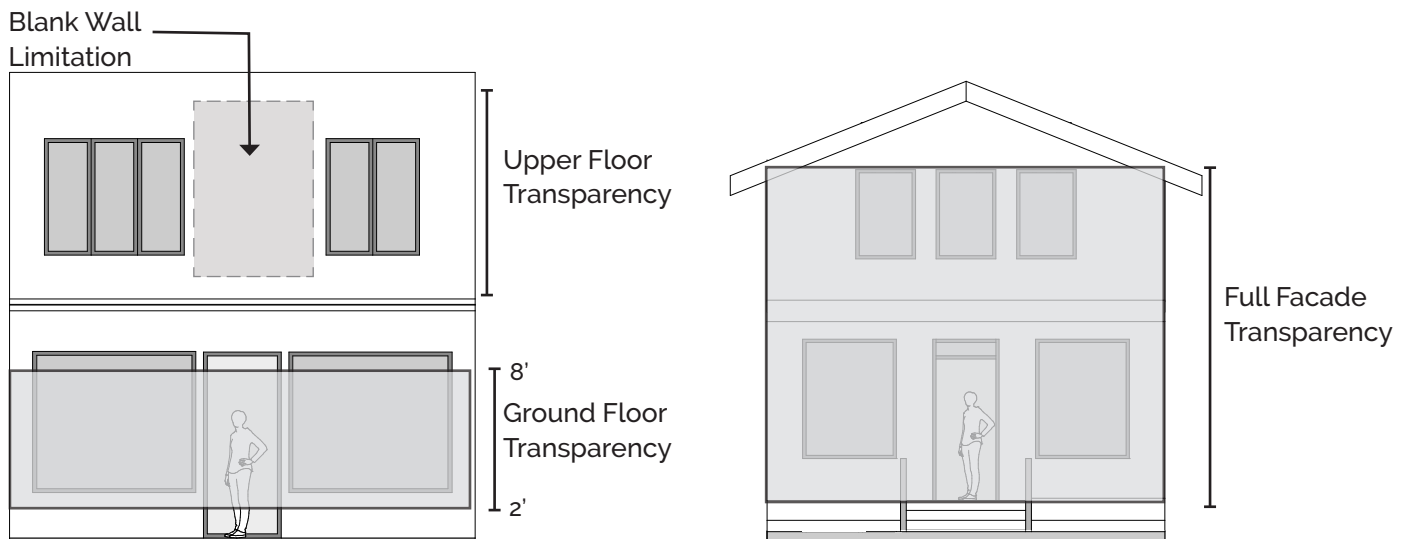


Figure 5.5-1. Measuring Transparency: Ground Floor, Upper Floor, & Full Facade

4) Building Entrance. Primary building entrance shall be located off the storefront.

5) Interior Access. Additional entrances to access uses in the upper stories or rear of the ground floor are permitted without having to adhere to the above requirements.

b. Stoop. Refer to Figure 5.5-3 Stoop.

1) Transparency. Minimum transparency is fifty (50) percent, measured between two (2) and eight (8) feet above the grade of the sidewalk. Refer to Figure 5.5-1. Measuring Transparency.

2) Elevation. Stoops shall be not be elevated more than 3' 6" above the sidewalk, except with a visible basement.

3) Stoop Size. Stoops shall be a minimum of three (3) feet deep and six (6) feet wide.

4) Recess. Entrances may be recessed up to five (5) feet

5) Building Entrance. Entrances shall be located off the stoop.

6) Interior Access. Additional entrances to access uses in the upper stories or rear of the ground floor are permitted without having to adhere to the above requirements.

c. Arcade. An arcade is a covered pedestrian walkway within the recess of a ground story. Refer to Figure 5.5-4 Arcade.

1) Interior Treatment. Arcades must be used in conjunction with storefront or stoop treatment.

2) Arcade Width. Open air public walkway must be a minimum of six (6) feet.

3) Columns Spacing. Columns shall be spaced between ten (10) and twelve (12) feet on center.

4) Arcade Opening. Opening shall not be flush with interior arcade ceiling and may be arched or straight.

d. Porch Entrance Type. A porch is a raised, roofed platform. Porches can be fully enclosed. Refer to Figure 5.5-5 Porch Entrance Type.

1) Transparency. Per Lot Type; unless the porch is fully enclosed in which case a minimum of forty (40) percent is applied. Refer to Figure 5.5-1. Measuring Transparency.

2) Elevation. Porches shall be located a maximum of 4'6" above the sidewalk or average grade measured at the front facade.

3) Height. A porch may be up to two (2) stories in height to provide a balcony for the second story.

4) Building Entrance. Primary building entrance shall be located off the porch.

3. Entrances on Street Facing Facades. The maximum spacing between entrances on a street facing building façade.

4. Entrances on Other Facades. An entrance is required on side and rear facades when fronting parking areas

C. Roof Type. All roof styles are permitted in the Lot Types, provided that a defined roof style is utilized; special roof



Figure 5.5-2. Storefront.

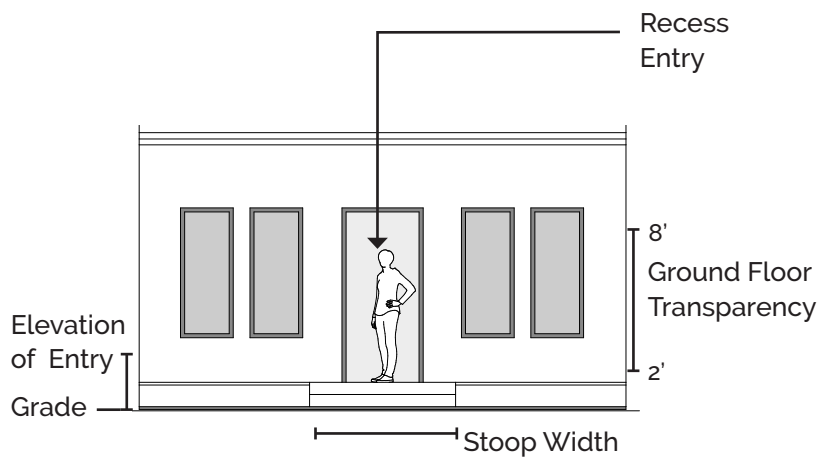


Figure 5.5-3. Stoop.

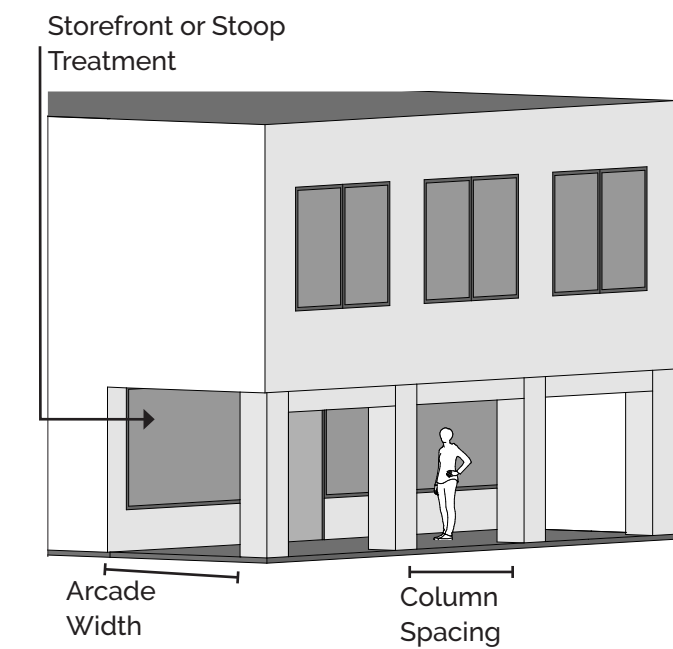


Figure 5.5-4. Arcade

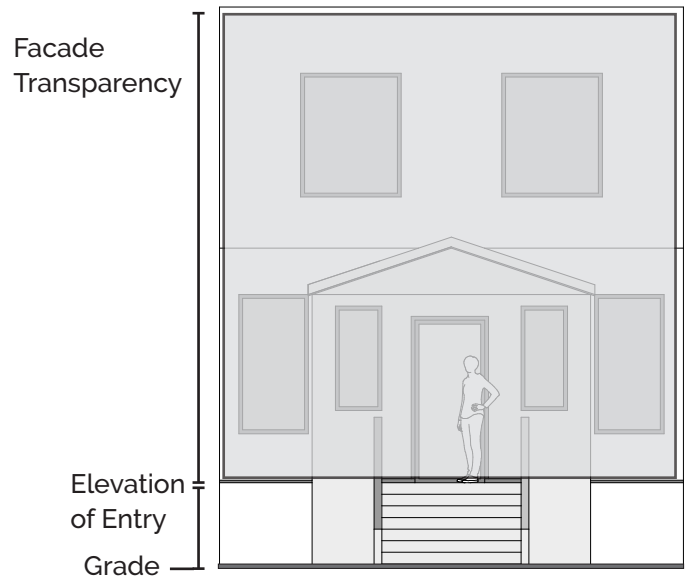


Figure 5.5-5. Porch.

types, tower and spire, are permitted per Lot Type.

1. Tower. A tower is a rectilinear or cylindrical, vertical building element. Refer to Figure 5.5-6 Tower.
 - a. Height. Maximum tower height is equal to the height of one (1) upper story floor of the building onto which the tower is applied.
 - b. Width. Maximum tower width along all facades is one-third ($1/3$) the width of the building or thirty (30) feet, whichever is less.
 - c. Occupied Space. Towers may be utilized by the same uses allowed in the upper stories of the front type in which it is located.
2. Spire. A spire is a long, tapering design element attached to a tower or the roof of a building. Refer to Figure 5.5-7 Spire.
 - a. Occupied Space. Spire may not contain occupied space.

5.6 Lot Type Standards.

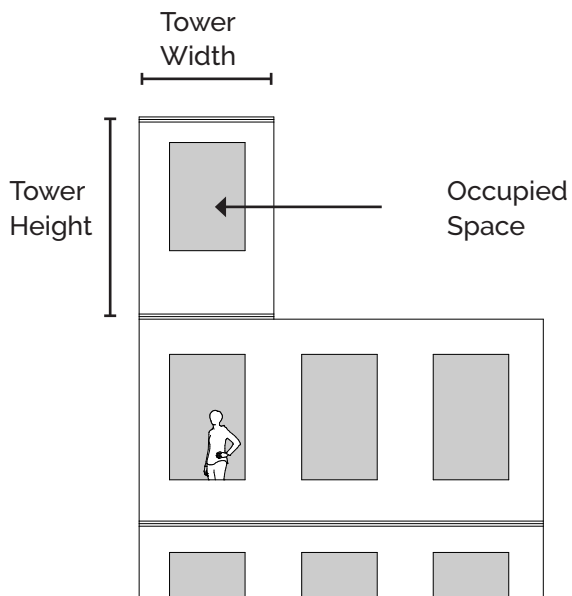


Figure 5.5-6. Tower.

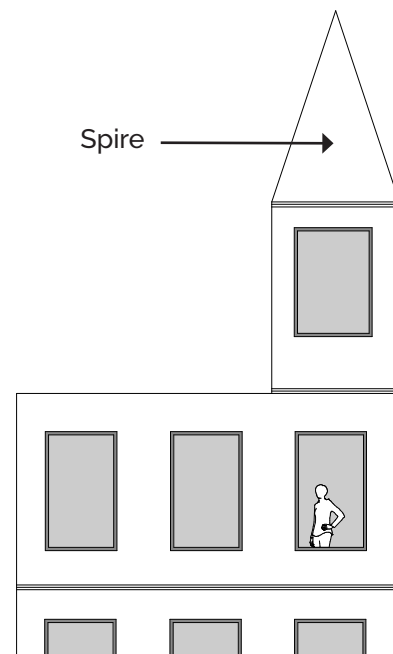


Figure 5.5-7. Spire

A. Lot Type Descriptions. The following Lot Types are defined and detailed for use in development and redevelopment in the Node, Live-Work 1, and Live-Work 2 Districts. Refer to Table 5.6-1 Lot Types by Zoning District.

1. Commercial Lot Type. A Lot Type with a high level of transparency on the ground floor that is located at or near the front property line of a lot. This type is ideal for active ground floor uses such as retail or a community center and a mix of uses including residential and commercial on upper stories.
2. Flex Lot Type. A Lot Type that promotes buildings constructed in a narrow front build-to zone with a range of entrance treatments that can support a wide variety of uses including commercial, industrial, and residential.
3. Civic Lot Type. A Lot Type that allows for the development of unique buildings for civic and institutional uses through flexible building siting and facade treatment standards.
4. Warehouse Lot Type. A Lot Type that maintains the urban character of an area while considering the needs of commercial and industrial uses. This type's standards include limited entrance treatments requirements.
5. Yard Lot Type. A Lot Type that promotes the development of buildings that are slightly set back from the front property line; most commonly contains residential uses. It allows for the development of a single building, attached buildings, or multiple buildings, including what is commonly known as a bungalow court.
6. Outdoor Market Type. A Lot Type that focuses on the use of outdoor spaces on a lot for such uses as gardening, seating, dining, gathering, and retail. May include limited indoor areas in non-permanent or open air structures, such as shipping containers, kiosks, or pergolas, for the sale of items or preparation of food items for sale, but with limited or no indoor seating. Permanent buildings are also permitted with this Lot Type, provided they account for a small percent of the total lot area.

Table 5.6-1 Lot Types by Zoning District

Lot Type	Zoning District		
	Node	Live Work 1	Live Work 2
Commerce	P		
Flex		P	P
Civic		P	P
Warehouse			P
Yard		P	
Outdoor Market		P	P

B. Lot Type: Commerce

1. Building Siting (Figure 5.6-1)

a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage (min)	80% ¹	2
Occupation of Corner	Yes	3
Front Build-to Zone	0'-5'	4
Corner Build-to Zone	0'-5'	5
ROW Encroachment	Yes	6

b) Lot Area

Side Yard Setback	0'	7
Rear Yard Setback	0', 0' off alley 10' next to R district	8

c) Lot Coverage

Impervious Surface (max)	100%	9
Semi-Impervious Surface	n/a	10

d) Parking, Loading, & Access

Parking Location	Rear Yard	11
Loading & Service Location	Rear, Side, Corner Side Facades ²	12
Interior Parking Entrance Bay		
Driveway Location	Alley; 1 on Corner Side ³ , 1 on Front if on an interior lot ³	13

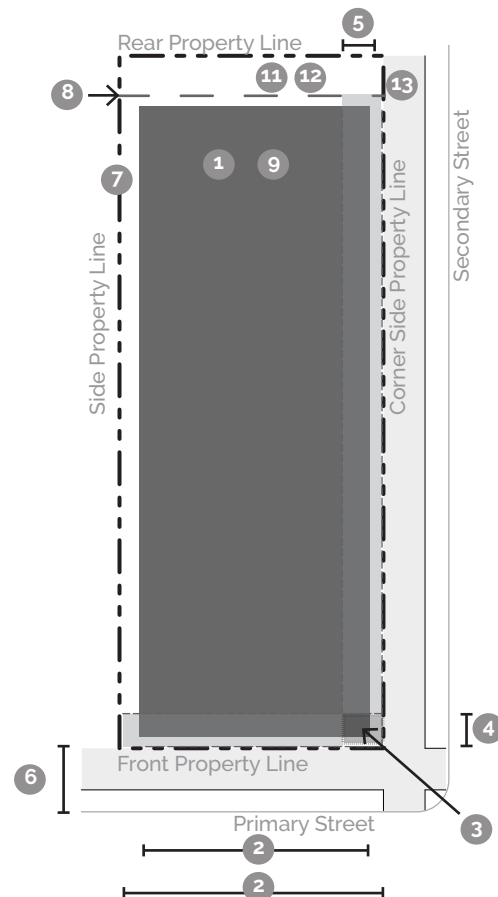


Figure 5.6-1 Building Siting.

Notes:

¹ A courtyard may count toward up to 35% of the minimum coverage.

Lots less than 60' in width, without alley access, and not on a corner have a minimum coverage requirement of 65%

² Entrance bays for parking and loading not permitted on primary streets.

³ A 2nd driveway is permitted on lots wider than 200'.

2. Height (Figure 5.6-2)

Minimum Height	2 stories	14
Maximum Height	3 stories or up to height of tallest building within 330' of Node ^{4,5}	15
Ground Floor	14'-24' ⁶	16
Upper Floor(s)	9'-14'	17

3. Uses (Table 4.1-1)

Ground Floor	All permitted uses per district	18
Upper Floor	All permitted uses per district	19
Occupied Space	Yes	20
Accessory Uses & Structures	See Table 4.5-1	

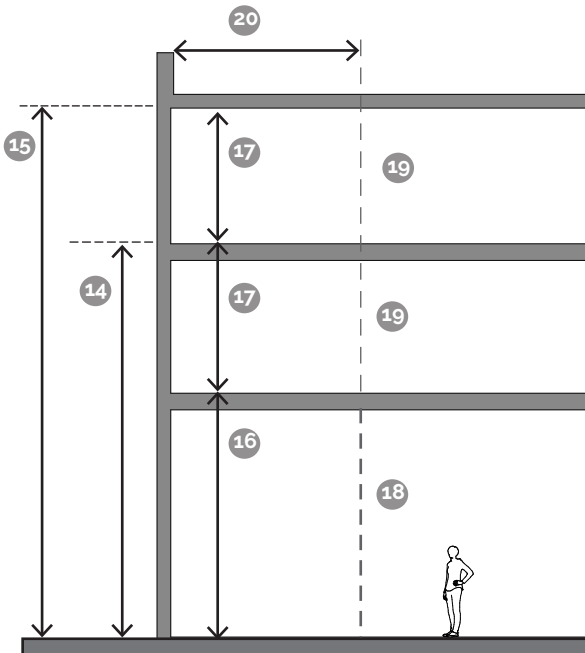


Figure 5.6-2 Height & Use

Notes:

⁴ Tower is allowed to be one (1) story taller than the overall building height.

⁵ 330' is measured from outer lot line of the Node.

⁶ A Ground Floor height of 20' or greater will be counted as two (2) stories for overall building height.

4. Street Facing Facades (Figure 5.6-3)

a) Transparency (minimum)

Ground Floor	Per entrance type, see 5.5.B	21
Upper Floor(s)	20% per floor	22
Blank Wall Limitations	Yes	23

b) Entrance

Location	Front Facade, Building Corner	24
Entrance Treatment (see 5.5.B)	Storefront	25
Entrances on Street Facing Facades	1 per 60' of building length	26
Entrances on Other Facades	Yes	

c) Roof Type

Tower	Permitted	27
Spire	Not Permitted	

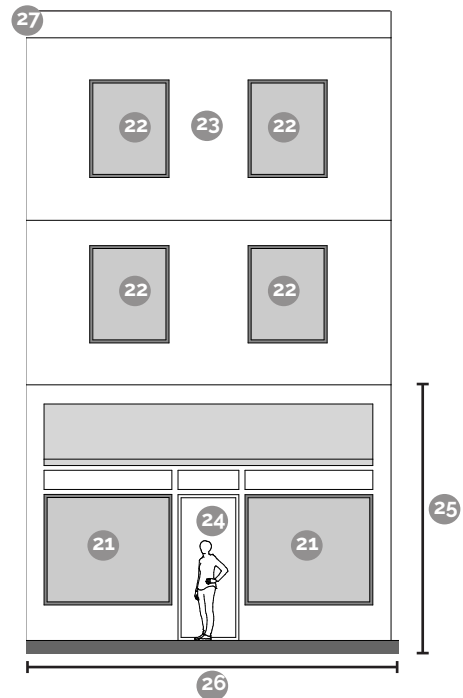


Figure 5.6-3 Street Facing Facades.

C. Lot Type: Flex

1. Building Siting (Figure 5.6-4)

a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage (min)	70% ¹	2
Occupation of Corner	Yes	3
Front Build-to Zone	0'-10'	4
Corner Build-to Zone	0'-10'	5
ROW Encroachment	Yes	6

b) Lot Area

Side Yard Setback	0'	7
Rear Yard Setback	0', 0' off alley 10' next to R district	8

c) Lot Coverage

Impervious Surface (max)	75%; 85% in Live Work 2	9
Semi-Impervious Surface	15%	10

d) Parking, Loading, & Access

Parking Location	Rear Yard	11
Loading & Service Location	Rear, Side, Corner Side	12
Interior Parking Entrance Bay	Facades ²	
Driveway Location	Alley; 1 on Corner Side ³ , 1 on Front if an interior lot ³	13

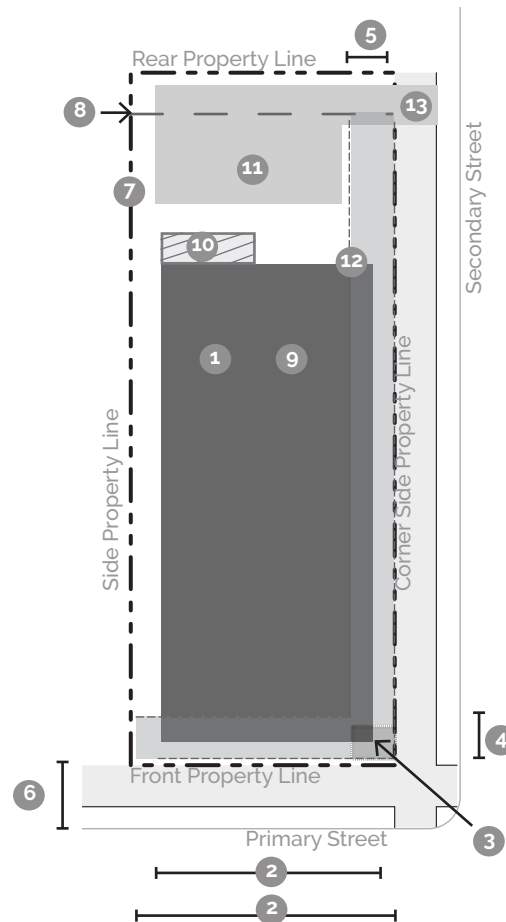


Figure 5.6-4 Building Siting.

Notes:

¹ A courtyard may count toward up to 35% of the minimum coverage. Lots less than 60' in width, without alley access, and not on a corner have a minimum coverage requirement of 65%

² Entrance bays for parking and loading purposes not permitted on primary streets.

³ A 2nd driveway is permitted on lots wider than 200'.

2. Height (Figure 5.6-5)

Minimum Height	1 story	14
Maximum Height	3 stories ⁴	15
Ground Floor	14'-24' ⁵	16
Upper Floor(s)	9'-14'	17

3. Uses (Table 4.1-1)

Ground Floor	All permitted	18
Upper Floor	uses per district,	
Occupied Space	Yes	19
Accessory Uses & Structures	See Table 4.5-1	

4. Street Facing Facades (Figure 5.6-6)

a) Transparency (minimum)

Ground Floor	Per entrance type, see 5.5.B	20
Upper Floor(s)	20% per floor	21
Blank Wall Limitations	Yes	22

b) Entrance

Location	Front Facade, Building Corner	23
Entrance Treatment (see 5.5.B)	Storefront, Stoop	24
Entrances on Street Facing Facades	1 per 60' of building length	25
Other Facade Entrances	Yes	

c) Roof Type

Tower	Permitted	26
Spire	Not Permitted	

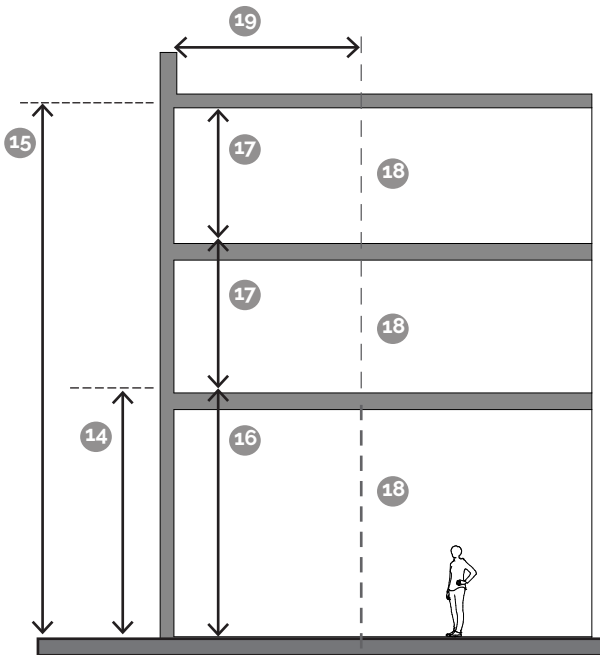


Figure 5.6-5 Height & Use

Notes:

⁴ Tower is allowed to be one (1) story taller than the overall building height.

⁵ A ground floor height of 20' or greater will be counted as two (2) stories for overall building height.

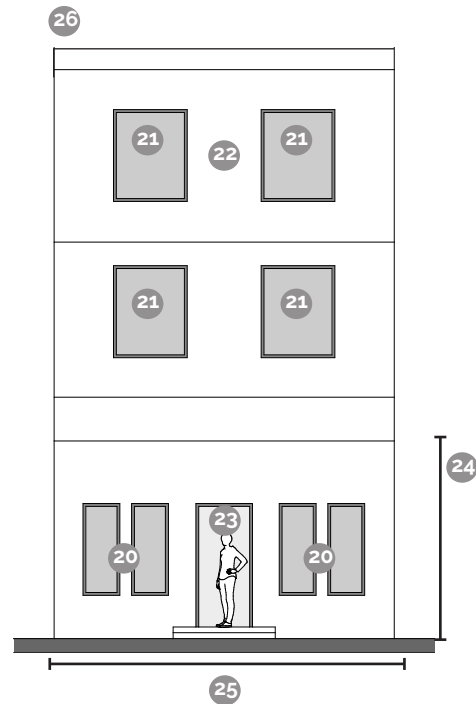


Figure 5.6-6 Street Facing Facades.

D. Lot Type: Civic

1. Building Siting (Figure 5.6-7)

a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage (min)	Not Required	2
Occupation of Corner	Yes	3
Front Build-to Zone	0'-15'	4
Corner Build-to Zone	0'-10'	5
ROW Encroachment	Yes	6

b) Lot Area

Side Yard Setback	0'	7
Rear Yard Setback	5', 0' off alley, 10' next to R district	8

c) Lot Coverage

Impervious Surface (max)	70%,	9
Semi-Impervious Surface	10%	10

d) Parking, Loading, & Access

Parking Location	Rear, Side Yards	11
Loading & Service Location	Rear, Side Corner Side Facades ¹	12
Interior Parking Entrance Bay		
Driveway Location	Alley, 1 on Corner Side ² , 1 on Front if an interior lot	13

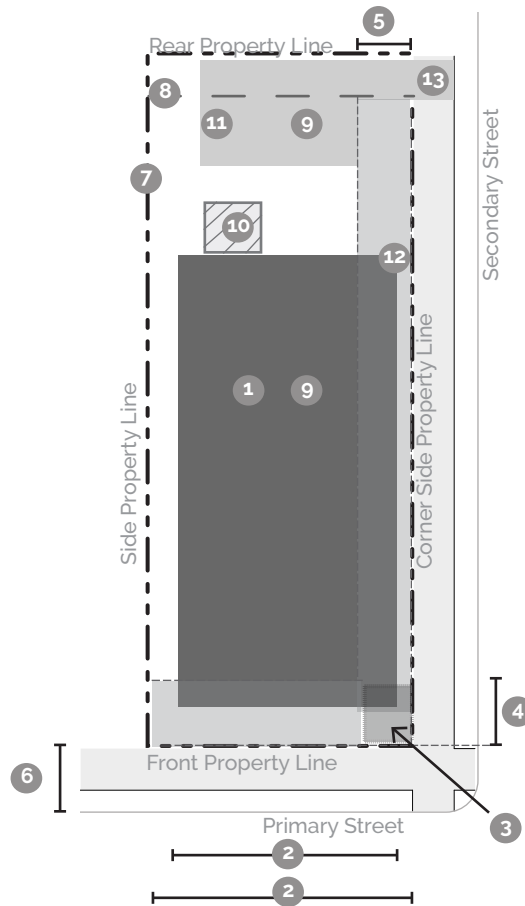


Figure 5.6-7 Building Siting.

Notes:

¹ Entrance bays for parking and loading are not permitted on primary streets² A 2nd driveway is permitted on lots wider than 200'.

2. Height (Figure 5.6-8)

Minimum Height	1 stories	14
Maximum Height	3 stories ³	15
Ground Floor	15'-30' ⁴	16
Upper Floor	9'-14'	17

3. Uses (Table 4.1-1)

Ground Floor		
Upper Floor	Civic/ Institutional,	18
Occupied Space	Yes	19
Accessory Uses & Structures	See Table 4.5-1	

4. Street Facing Facades (Figure 5.6-6)

a) Transparency (minimum)

Facade Transparency (min)	15% per street facing Facade	20
Blank Wall Limitations	No	21

b) Entrance

Location	Front Facade, Building Corner	22
Entrance Treatment (see 5.5.B)	Stoop	23
Entrances on Street Facing Facades	1 per 60' of building length	24
Other Facade Entrances	Yes	25

c) Roof Type

Tower	Permitted	26
Spire	Permitted	27

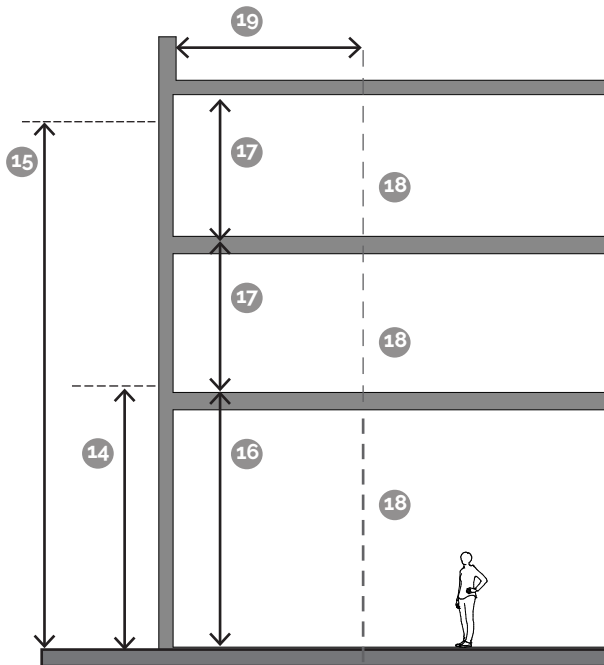


Figure 5.6-8 Height & Use

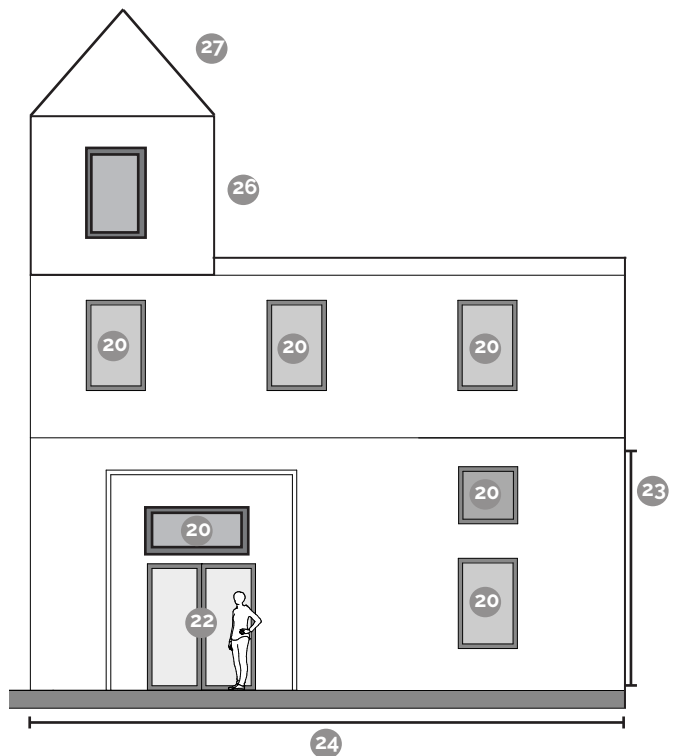


Figure 5.6-9 Street Facing Facades.

Notes:

³ A Tower or a spire is allowed to be one (1) story taller than the overall building height; a tower and a spire can add an additional one and a half (1 1/2) stories to the overall permitted height.

⁴ A ground floor height of 20' or greater will be counted as two (2) stories for overall building height.

E. Lot Type: Warehouse

1. Building Siting (Figure 5.6-10)

a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage (min)	65% ¹	2
Occupation of Corner	Yes	3
Front Build-to Zone	0'-10'	4
Corner Build-to Zone	0'-10'	5
ROW Encroachment	Yes	6

b) Lot Area

Side Yard Setback	5'	7
Rear Yard Setback	15', 0' off alley,	8

c) Lot Coverage

Impervious Surface (max)	80%,	9
Semi-Impervious Surface	10%	10

d) Parking, Loading, & Access

Parking Location	Rear, Side Yards	11
Loading & Service Location	Rear, Side, Corner Side Facades ² , & 1 on Front Facade ²	12
Interior Parking Entrance Bay		
Driveway Location	Alley, 1 on Corner Side, 1 on Front if an interior lot ³	13

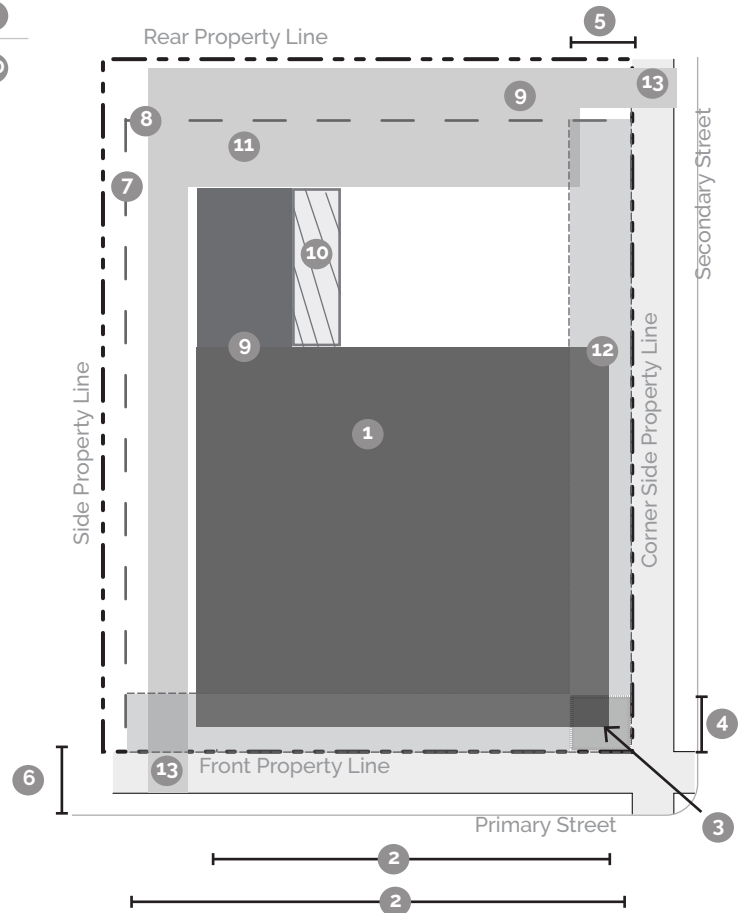


Figure 5.6-10 Building Siting.

Notes:

¹ A courtyard may count toward up to 35% of the minimum coverage.

² Entrance bays for parking and loading not permitted on primary streets unless located at least fifty (50) feet behind the front facade.

³ A 2nd driveway is permitted on lots wider than 200'.

2. Height (Figure 5.6-11)

Minimum Height	1 stories	
Maximum Height	2 stories ⁴	15
Ground Floor	14'-30' ⁵	16
Upper Floor	9'-15'	17

3. Uses (Table 4.1-1)

All Floors	Craftsman Industrial, Industrial, Warehouse & Distribution,	18
Occupied Space	Not Required, except Craftsman Industrial retail or showroom shall be located in the occupied space	19
Accessory Uses & Structures	See Table 4.5-1	

4. Street Facing Facades (Figure 5.6-12)**a) Transparency (minimum)**

Ground Floor (min)	40% or per entrance type, see 5.5.B ⁶	20
Upper Floor(s)	10%	21
Blank Wall Limitations	No	

b) Entrance

Location	Front Facade, Building Corner	22
Entrance Treatment (see 5.5.B)	Stoop	23
Entrances on Street Facing Facades	1 per 75' of building length	24
Other Facade Entrances	Yes	25

c) Roof Type

Tower	Permitted	26
Spire	Not Permitted	

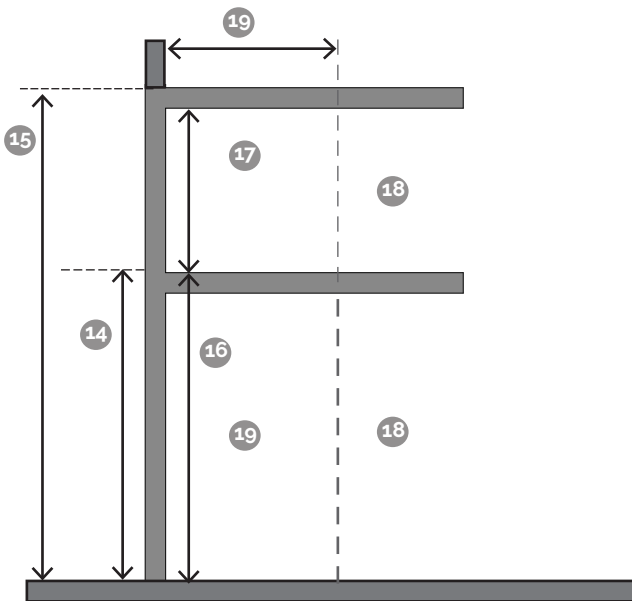


Figure 5.6-11 Height & Use

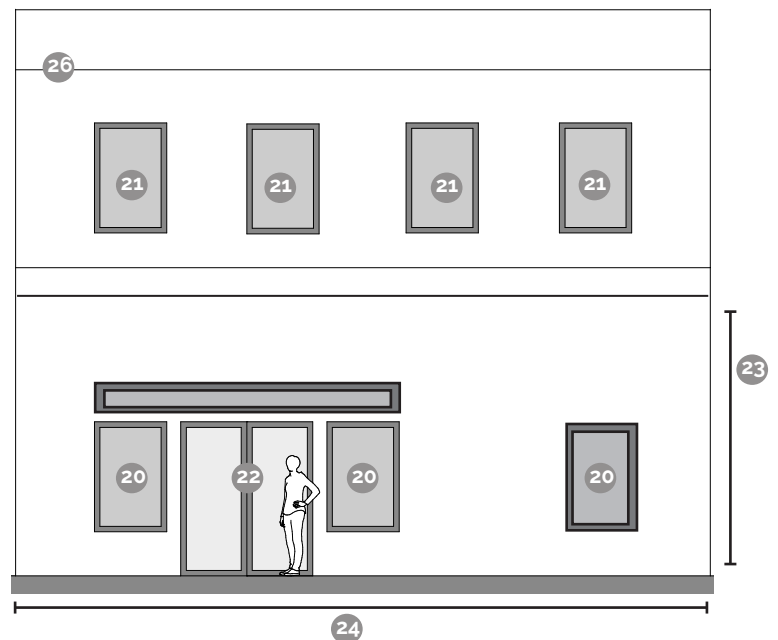


Figure 5.6-12 Street Facing Facades.

Notes:

⁴ Tower is allowed to be one (1) story taller than the overall building height.

⁵ A ground floor height of 20' or greater will be counted as two (2) stories for overall building height.

⁶ Craftsman Industrial uses follow transparency for either the storefront or stoop entrance type. To determine transparency, the measurement can be taken in the location of the retail or showroom element and not along the entire ground floor facade.

F. Lot Type: Yard

1. Building Siting (Figure 5.6-13)

a) Street Frontage

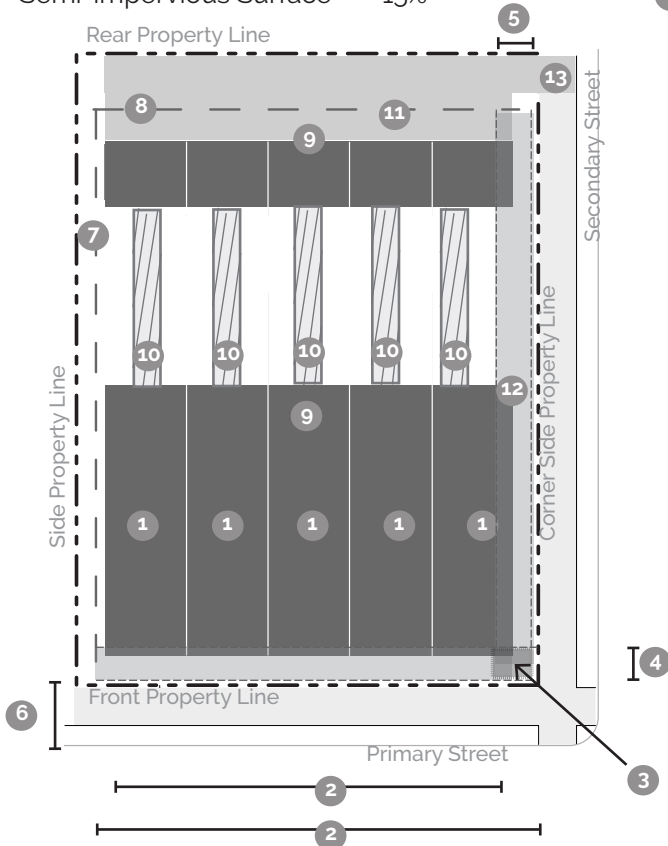
Multiple Principal Buildings	Yes; if attached: up to 5 units may be connected	1
Front Lot Line Coverage (min)	50%	2
Occupation of Corner	Yes, except detached dwellings	3
Front Build-to Zone	5'-15' ¹	4
Corner Build-to Zone	5'-15' ¹	5
ROW Encroachment	No	6

b) Lot Area

Side Yard Setback	5' ²	7
Rear Yard Setback	15'	8

c) Lot Coverage

Impervious Surface (max)	60%	9
Semi-Impervious Surface	15%	10



Notes:

¹ Stoops and unenclosed porches may be located in the build-to zone.

² If buildings are attached, side yard setbacks apply to the set or row of buildings, not each individual building.

³ Parking entrance bays are not permitted to front primary streets unless located outside of the build-to-zone.

d) Parking, Loading, & Access

Parking Location	Rear, Side Yards	11
Loading & Service Location	Not Permitted	
Interior Parking Entrance Bay	Rear, Side, Corner Side Facades ³	12
Driveway Location	Alley; 1 on Corner Side or 1 on Front if an interior lot	13

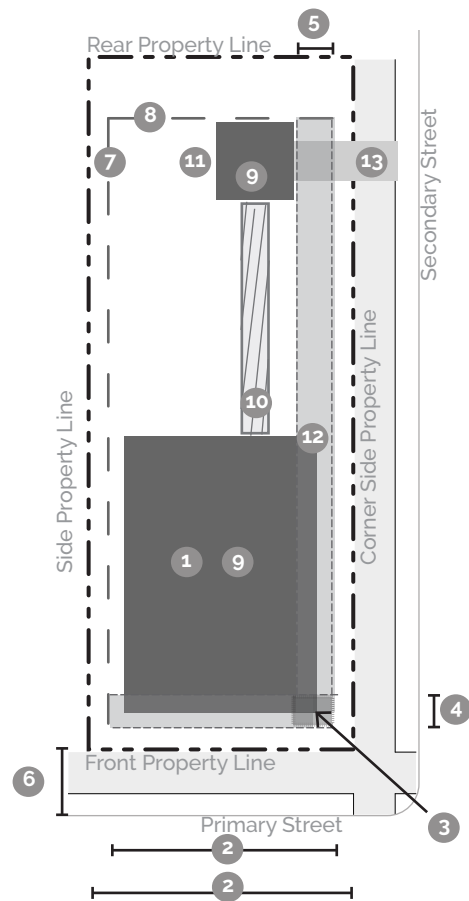


Figure 5.6-13 Building Siting Attached and Detached

G. Lot Type: Outdoor Market

1. Building Siting (refer to Figure 5.6-16)**a) Street Frontage**

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage	Not Required	
Occupation of Corner	Not Required	
Front Build-to Zone	Not Required,	
	except 0-10' for	2
Corner Build-to Zone	Outdoor Sales &	
	Storage uses	
ROW Encroachment	Yes	3

b) Lot Area

Side Yard Setback	10'	4
Rear Yard Setback	15'	5

c) Lot Coverage

Impervious Surface (max)	65% ¹	6
Semi-Impervious Surface	15%	7

d) Parking, Loading, & Access

Parking Location	Rear Yard	8
Loading & Service Location	Side or Rear Yard	9
Interior Parking Entrance Bay	Not Permitted	
Driveway Location	Alley; 1 on Corner Side Front if not an interior lot	10

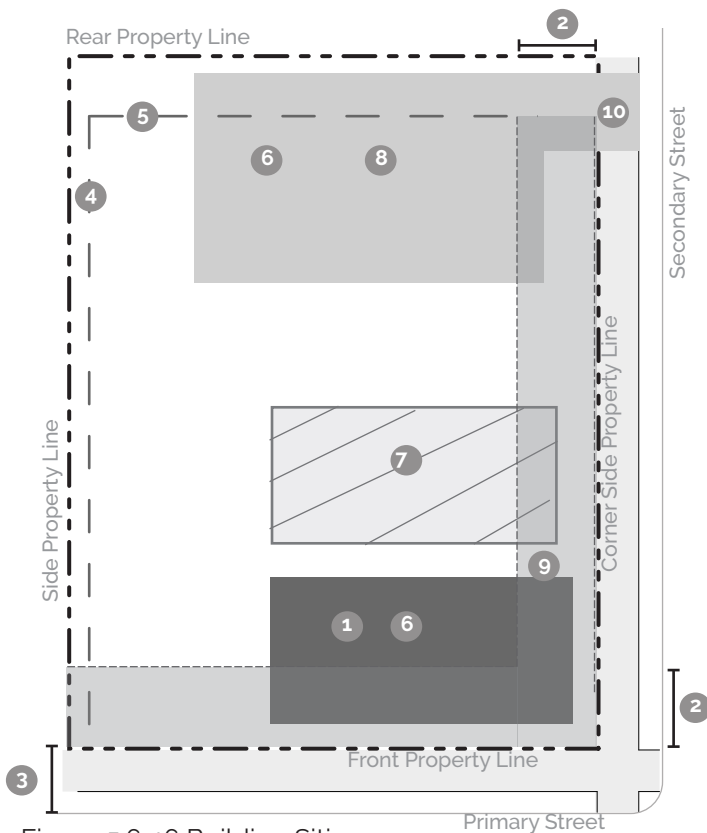
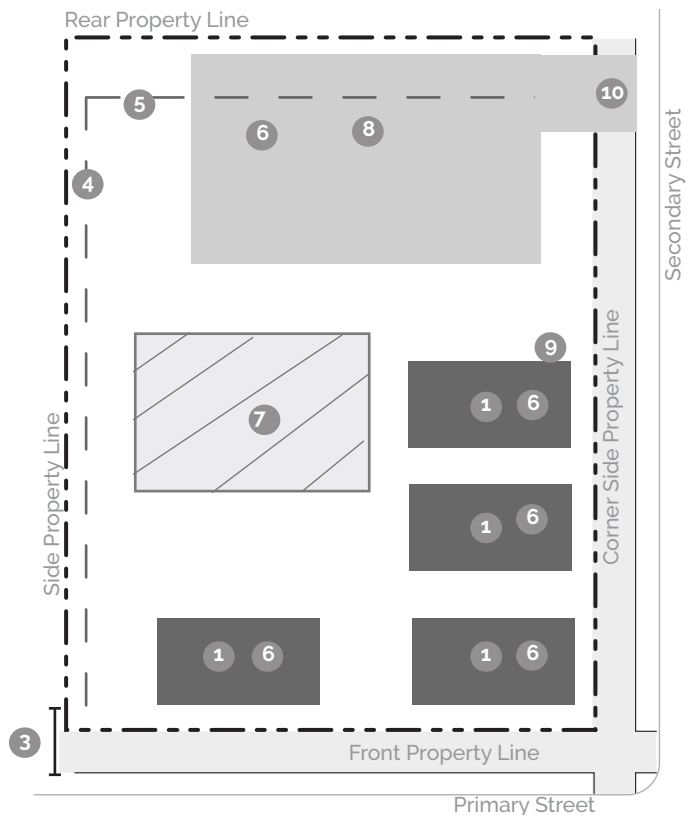


Figure 5.6-16 Building Siting.



2. Height

Minimum Height	1 Story	11
Maximum Height	1 Story	12
Ground Floor	Not Required	
Upper Floor(s)	Not Required	

3. Uses (Table 4.1-1)

All Floors	Commercial, Park/Open Space	13
Occupied Space	No	14
Accessory Uses & Structures	See Table 4.5-1	

4. Street Facing Facades (Figure 5.6-17)

a) Transparency (minimum)

Ground Floor	Not Required ²	15
Upper Floor(s)	Not Required	
Blank Wall Limitations	Not Required	

b) Entrance/Counter

Location	Not Required ²	16
Entrance Treatment (see 5.5.B)	Not Required, except with an Outdoor Sales & Storage Use	17
Entrances on Street Facing Facades	Not Required ¹	
Other Facade Entrances	Not Required	

c) Roof Type

Tower	Not Permitted	
Spire	Not Permitted	

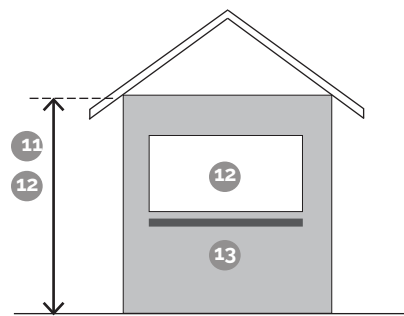


Figure 5.6-17 Street Facing Facades.

Notes:

¹ A permanent building shall account for no more than twenty-five (25) percent of the impervious coverage allowance. This does not apply to such structures as kiosk, shipping container, stand, greenhouse, or hoop house, which are considered not permanent for the purposes of impervious coverage.

² When a building is located in the Front or Corner Side Build-to Zone, it must have an entrance, windows, or service window/counter on the facade facing the adjacent street. Outdoor Sales & Storage uses must be in buildings with a stoop or storefront entrance treatment.

Chapter 6. Street Types

Reserved

Chapter 7. Parking & Loading Regulations

7.1 General Requirements.

A. Applicability. Unless otherwise stated, parking and loading shall be provided as is outlined in this Chapter.

B. General Provisions.

1. Accessible Parking. Parking facilities accessible for persons with disabilities shall be in compliance with or better than the standards detailed in the state and federal building or accessibility requirements, including quantity, size, location, an accessibility.
2. Requirements for Unlisted Uses. Parking spaces will be provided as detailed in Table 7.2-1. If a use is not listed, the City Planner is authorized to apply standards for a use deemed as similar. In the instance where an equivalent may not be clearly determined, the City Planner may require a parking study, transportation management plan, or other evidence that will help determine the appropriate requirements.

C. Exempt Areas.

1. Downtown. Lots located in the Downtown Exempt Parking Area (refer to Figure 7.1-1) are exempt from the requirement to provide off-street parking spaces. Spaces that are provided must adhere to all applicable requirements including design, layout, and landscaping.

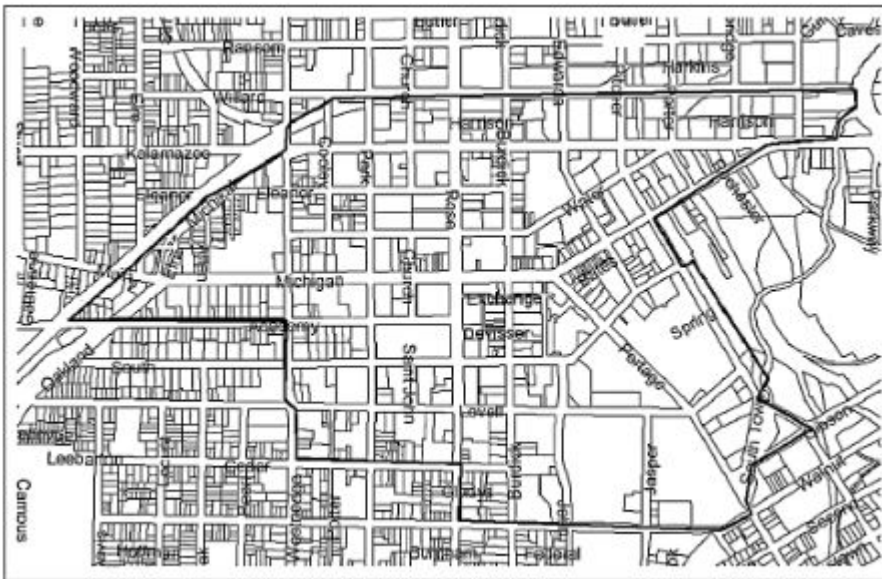


Figure 7.1-1 Downtown Exempt Parking Map

2. Small Commercial Establishments. A commercial establishment, including the non-manufacturing element of craftsman industrial, containing up to 2,000 square feet of floor area, located in a building constructed on or before October 18, 2005, and not be located in the Community Commercial zoning district, shall be exempt from all requirements to provide off-street parking spaces.

7.2 Required Vehicular Off-Street Parking Spaces.

A. Required Parking Table. Table 7.2-1 outlines the required off-street parking spaces. Total required vehicular parking spaces should be determined using the following parameters in addition to Table 7.2-1.

1. Fractions. In determining the number of spaces required, any fraction of spaces required under 1/2 shall be disregarded; a fraction greater than 1/2 shall be rounded up to count as one (1) space.
2. Maximum Parking Spaces Provided. Off-street parking may not be provided in an amount greater than 110% of the minimum parking requirement.
3. On-Street Parking Credit. Up to fifteen (15) percent of the parking requirement for commercial and industrial-craftsman industrial uses can be met with on-street parking located within 660 feet of the site.
4. Shared Parking. Credit for shared off-street parking is calculated as follows.
 - a. Off-Site Location. Spaces in parking facilities within 660' can be applied to the parking requirements for a lot.
 - b. Multiple Uses Credit. When multiple uses share parking facilities, the quantity of spaces provided should be calculated as follows.
 - 1) Shared Peak Demand Times. Businesses with the same peak parking demand times that share parking facilities can reduce the quantity provided by five (5) percent.
 - 2) Different Peak Demand Times. Business with different peak parking demand times, can reduce their required parking spaces using Table 7.2-2 Parking Times Per Use Category.
 - a) Determine the required number of spaces per use, following Table 7.2-1 Required Parking Table.
 - b) Applying the percentages in Table 7.2.2, determine the number of spaces needed per use in each of the six (6) time periods.
 - c) For each time period, add the number of spaces needed for all applicable use categories to obtain a total for each of the six (6) time periods.
 - d. The time period with the highest total of parking spaces, is the number of spaces required for the site.
5. Bicycle Facilities. For every ten (10) required bicycle parking spaces, the required number of vehicular spaces may be reduced by one (1).
6. 10% Reduction. City Planner may reduce the number of required parking spaces by up to ten (10) percent if the applicant can document that the required number of parking spaces will not be fully utilized.

Table 7.2-1 Required Parking Table

Use	Required Spaces
Residential/Lodging	
Hotel/Motel	1 space/2 guest rooms,
Bed & Breakfast	1 space/guest room, 1 space for innkeeper/home occupant
Dormitory	1 space/3 beds or per City Approved Campus Master Plan
Nursing Home/Assisted Living/ Rehabilitation Center/Adult Foster Care	1 space/employee on largest shift, 1 space/facility vehicle, 1 space/5 beds
Residential	1 space/dwelling unit
Residential: Senior Housing	.5 space/dwelling unit
Residential: Off-Campus Student Housing/RM-15C	2 spaces/dwelling unit
Rooming House	1 space/unit or bedroom
Transitional Residence	1 space/2 employees on largest shift
Civic/Institutional Uses	
Assembly/Theatre	1 space/3 persons permitted at maximum occupancy
Assembly, Religious	1 space/6 seats in worship area or 1 space/40 square feet without seats
College and University	Based on similar use or per City Approved Campus Master Plan
Hospital	1 space/3 beds or per City Approved Campus Master Plan
Library & Museum	1 space/3 persons permitted at maximum occupancy
Police & Fire Station/Utilities & Public Services	1 space/employee on largest shift
School	2 spaces/3 employees as largest shift, in addition for high schools: 1 space/10 students enrolled in grades 10-12
Commercial	
Agriculture	1 space/employee on largest shift
Day Care	1 space/employee on largest shift, in addition commercial facilities: 1 space/5 children permitted at maximum occupancy
Eating & Drinking Establishments	1 space/5 persons at maximum occupancy, 1 space/2 employees at largest shift
Entertainment Sports (Participant)	1 space/5 persons at maximum occupancy, 1 space/2 employees at largest shift
Entertainment Sports (Spectator)	1 space/6 fixed seats or 1 space/40 square feet without seats
Retail/Services	1 space/330 square feet
Kennels	1 space/employee on largest shift, 1 space/3 animals permitted at maximum occupancy
Office	1 space/300 square feet
Outdoor Sales & Storage	1 space/employee at largest shift, 1 space/2,500 square feet outdoor sales area
Vehicle Service	1 space/200 square feet floor area; in addition vehicle repair 2 spaces/repair bay or area
Vehicle Service: Car Wash	1 space/employee on largest shift
Industrial	
Craftsman Industrial	1 space/employees on largest production shift, 1 space/500 square feet retail
Industrial	1 space/2 employees on largest shift

Table 7.2-2 Parking Times Per Use Category

Uses Category	Weekdays			Weekends		
	Midnight - 7 AM	7 AM - 6 PM	6 PM - Midnight	Midnight - 7 AM	7 AM - 6 PM	6 PM - Midnight
Residential	100%	50%	80%	100%	80%	80%
Hotel/Motel/Bed & Breakfast	100%	65%	100%	100%	65%	100%
Assembly- Religious	0%	30%	50%	0%	100%	75%
Retail & Services	5%	100%	80%	5%	100%	60%
Eating & Drinking Establishments	50%	70%	100%	70%	60%	100%
Entertainment (Spectator, Participant) & Assembly	5%	30%	100%	5%	80%	100%
Office	5%	100%	5%	5%	5%	5%

B. Vehicular Parking Design and Location. Vehicular parking facilities shall be provided using the following standards.

1. Design, Vehicular parking shall be designed as follows.

a. Space Dimension. Parking space design shall follow the dimensions in Table 7.2-3 Minimum Parking Space and Aisle Dimensions and Figure 7.2-1 Parking Space and Drive Aisle Dimensions

b. Wheel Stops, Wheel stops or bumper guards are required for spaces adjacent to property lines, landscape buffers, and pedestrian pathways, internal to site or in public right-of-way.

c. Tandem Spaces. Tandem spaces are permitted as follows.

1) Two (2) spaces may be placed in tandem provided one (1) space is accessible by an aisle, driveway, or alley.

2) Tandem spaces are permitted for use by residential units only and must be utilized by the occupants of the same dwelling unit.

d. Slope. All parking areas, driveways, and sidewalk access to parking areas shall meet the requirements of the American Disabilities Act.

e. Materials. Parking areas may be designed with impervious or semi-pervious materials, such as concrete, asphalt, macadam, brick, and stone.

1) Gravel and crushed stone are permitted for parking lots for residential parking areas up to ten (10) spaces and for parks and open space uses. Additional application of these types of material may be permitted with approval of the City Planner.

f. Landscape Areas.

1) Areas not used for sidewalks, parking spaces, drive aisles, loading, or refuse shall be constructed and maintained as landscaped areas.

2) The perimeter of a parking lot shall be treated with fencing and/or landscaping along all property lines following Appendix A 6.2 Landscaping and Open Spaces

- g. Lighting. Parking areas with fifty (50) or more spaces must be lit per Appendix A 6.4 Lighting.
- h. Pedestrian Access. Parking lots with more than two (2) double-loaded aisles will provide internal pedestrian access both through the lot, and if directly adjacent to right-of-way, from the adjacent right-of-way to the structure(s).
- 1) Dimension. The pedestrian access pathway shall be at least six (6) feet in width.
 - 2) Location. The pathway(s) shall be centrally located.
 - 3) Buffer. The pathway shall be buffered from drive aisles with landscaping or designated parking stalls and delineated with paint where it crosses drive aisles.

Table 7.2-3 Minimum Parking Space & Aisle Dimensions

Angle of Parking	Stall Dimensions			Drive Aisle Width	
	Curb Length	Stall Width	Stall Depth	One-Way	Two-Way
0 Degrees (Parallel)	18'	8'	18'	12'	20'
45 Degrees	12'	8.5'	18'	12'	20'
60 Degrees	10'	8.5'	18'	18'	20'
90 Degrees	8.5'	8.5'	18'	20'	20'

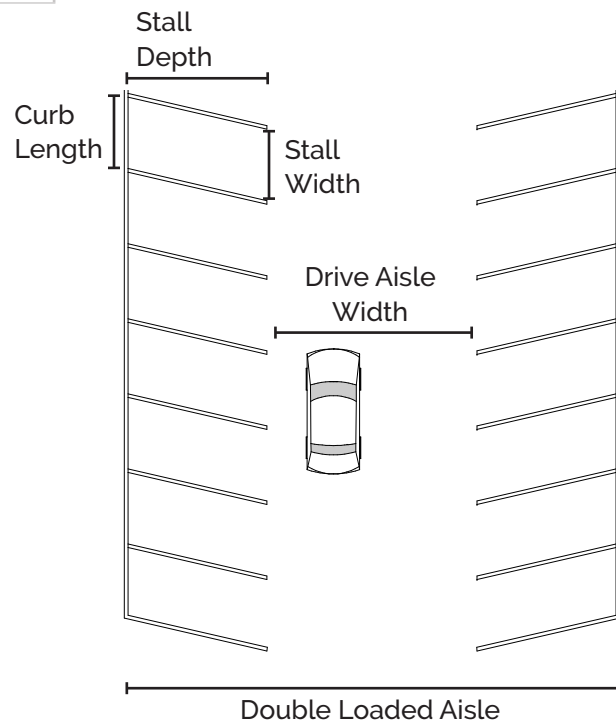


Figure 7.2-1 Parking Space and Drive Aisle Dimensions.

2. Vehicular Parking Location. Refer to 5.6 Lot Types for information on the permitted location for Node, Live Work 1, and Live Work 2 Districts. In addition the following applies.

- a. Access. All spaces, unless otherwise noted, shall front an drive aisle, driveway, or right-of-way, providing direct access the parking space.
- b. Parking in Yards. Parking of motorcycles and personal vehicles are not allowed in front yards except on driveways, permitted parking area, or within structures.
- c. Recreational Vehicles. Trailers, motor homes, recreational vehicles, boats, or other similar vehicles may be parked as follows.
 - 1) Recreational Vehicles shall not be stored in a front yard or front or corner build-to zone unless in a garage or carport; except vehicles may be parked for up to seventy-two (72) hours for loading and unloading purposes.
 - 2) Recreational Vehicles can be stored in the side or rear yards.
 - 3) Recreational Vehicles must be kept in good repair and carry a current license and registration.
 - 4) A maximum of two (2) recreational vehicles can be stored out of doors on a lot at a time; there is no limit as it relates to vehicles within fully enclosed structures.

7.3 Required Bicycle Parking.

A. Required Bicycle Parking Table. Table 7.3-1 outlines the required spaces for bicycle parking. Total required bicycle parking spaces should be determined using the following parameters in addition to Table 7.3-1.

1. Calculation. At least one (1) space is required. Beyond the first space, in determining the number of spaces required, any faction of spaces required under $\frac{1}{2}$ shall be disregarded; a fraction greater than $\frac{1}{2}$ shall be rounded up to count as one (1) space.
2. Public Bicycle Parking Spaces. Parking facilities within public spaces, such as street rights-of-way, can count toward the requirement for non-residential uses. All facilities located within a public right-of-way, require review and approval of an encroachment agreement with the City.

B. Bicycle Parking Design and Location. Bicycle parking facilities shall be provided using the following standards.

1. Design, Bicycle parking shall be designed as follows.
 - a. Space Size. Each bicycle parking space must be at least six (6) feet long and two (2) feet wide with a five (5) foot access aisle.
 - b. Bicycle Racks. Bicycle racks must be designed as follows.
 - 1) Be a fixed-in-place stand that is securely anchored to the ground and/or wall.
 - 2) Provide at least two (2) points of contact to allow locking of frame and at least one (1) wheel.
 - 3) Be constructed of materials that resist cutting, rusting, bending, or deformation.

c. Lockers. Lockers must be designed as follows.

- 1) Be a fixed-in-place stand that is securely anchored to the ground and/or wall.
- 2) Be secured by means of a lockable door or configured internally to allow locking of the frame and at least one (1) wheel.

2. Location. Bicycle parking shall be located as follows.

- a. Visible Location. If not visible from the street or public entrance, a directional sign must be posted indicating location. Adherence to the Manual On Uniform Traffic Control Devices for signage is recommended.
- b. Structured Parking. If more than fifty (50) percent of a site's vehicular parking is in a covered area or structure, the required spaces shall also be located in the covered area or structure or otherwise protected from the weather.

Table 7.3-1 Required Bicycle Parking Table

Use	Required Spaces
Residential/Lodging	
Bed & Breakfast/Hotel/Motel	1 space/7 employees
Dormitory	1 space/5 beds or per City Campus Master Plan
Nursing Home/Assisted Living/ Rehabilitation Center/Adult Foster Care	1 space/7 employees
Residential	1 space/5 dwelling units
Civic/Institutional Uses	
Assembly/Theatre	1 space/50 persons permitted at maximum occupancy
Assembly, Religious	1 space/50 seats in worship area or 100 square feet without seats
College and University	Based on similar use or per City Approved Campus Master Plan
Hospital	1 space/15 employees or per City Approved Campus Master Plan
Library & Museum	1 space/7 employees
Parks & Open Space	1 space/5,000 square feet of land area or per City Parks & Recreation Plan
School	2 spaces/classroom
Commercial & Industrial	
Agriculture	1 space/5 employees or gardeners
Eating & Drinking Establishments & Entertainment Sports (Participant)	1 space/15 persons permitted at maximum occupancy
Office/Employment Uses/Other	1 space/7 employees
Parking, Stand Alone Surface Lot or Garage/Ramp	1 space/15 parking spaces
Retail/Services	1 space/7 employees

7.4 Off-Street Loading Requirements.

A. Off Street Loading. Construction of new buildings that are expected to have deliveries by vehicles rated as heavy duty must provide off-street loading facilities as follows.

1. Design. Each loading space shall be a minimum of ten (10) feet in width, twenty-five (25) feet in length, and fourteen (14) feet in height.
2. Location. Loading areas shall be located as follows.
 - a). Loading areas shall not be located on a building's front facade and may not occupy any part of a required front or side yard.
 - b) Loading areas shall not be located closer than fifty (50) from a residentially zoned lot unless it is wholly enclosed within the building or by walls.
 - c) Loading areas must be separate from pedestrian facilities and pathways.

7.5 Driveway Access Design.

A. Driveways. Driveways will be designed as follows.

1. Driveway Width. Driveway width is measured at the front property line and shall adhere to the following.
 - a. Single-lane Driveways. Single-lane driveways shall be between eight (8) feet and twelve (12) feet.
 - b. Double-lane Driveway. Double-lane driveways shall be between twenty (20) feet and twenty-four (24) feet, unless the driveway serves the off street loading area, where a larger driveway may be required based on site plan review.
2. Double Track Driveways. Double-track, wheel strip, or ribbon driveways are permitted as follows.
 - a. The first two (2) feet of the entire driveway width, measured from the property line, must paved or covered with a permitted material.
 - b. Wheel strip shall be at least eighteen (18) inches in width
 - c. Area between the wheel strips must be landscaped with living ground cover.
3. Materials. Driveways may be designed with impervious or semi-pervious materials. such as concrete, asphalt, macadam, brick, and stone.
 - 1) Gravel and crushed stone are permitted for residential driveways accessing parking areas up to ten (10) spaces. Additional application of these types of material may be permitted with approval of the City Planner.
4. Maximum Coverage of Front Yard. Driveways cannot account for more than thirty (30) percent of the front yard of a lot.

Chapter 8. Landscape Screening Regulations

Reserved

Chapter 9. Signs

Reserved

Chapter 10. Lighting

Reserved

